



*City of Scio*

*P. O. Box 37*

*Scio, OR 97374*

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## **Scio Planning Commission Meeting**

Scio City Hall - 38957 NW 1<sup>st</sup> Avenue, Scio, Oregon

The public may submit public comments on agenda items by email to [cathy@sciooregon.gov](mailto:cathy@sciooregon.gov) prior to 4:00 p.m. on Tuesday, April 26, 2022.

### **AGENDA**

April 26, 2022 – 7:00 PM

*Chairman - Beau Buganski*

*Commissioner Richard Androes*

*Commissioner Katrina Clouse*

*Commissioner Ellie Ferguson*

*Commissioner Ron Loewen*

*Commissioner Nicole Zedwick*

*Vacant*

### **CALL TO ORDER \*\*\*\* ROLL CALL**

**APPROVAL OF PLANNING COMMISSION MINUTES:** August 25, 2021 Minutes

### **BUSINESS:**

1. *PL2021-02 – Iceland Construction – Extension of Subdivision Approval*  
10S01W018AC, Tax Lot 900  
Presented by: Dave Kinney, Planning Consultant
2. *PL2022-01 – SMTA – Site Development Review*  
10S01W18AD, Tax Lot 5100  
Presented by: Dave Kinney, Planning Consultant
3. Planning Commission Vacancy

### **ADJOURNMENT:**

**ALL PLANNING COMMISSION MEETINGS WILL BE HELD IN PERSON AND ON ZOOM.**

The public can join the meeting via Zoom using one of the following options:

<https://us02web.zoom.us>

or phone: 1-253-215-8782

Meeting ID: 813 0605 2915

Passcode: 142934

*The Zoom Information will also be available on the City Web Site and City Facebook Page the Thursday, prior to the Monday meeting.*

### **NEXT SCHEDULED PLANNING COMMISSION MEETING(S)**

- TBA, 7:00 p.m. Scio City Hall

# Minutes

**City of Scio  
Planning Commission Minutes  
August 25, 2021**

**LOCATION:** SCIO CITY COUNCIL CHAMBER, 38957 NW 1<sup>ST</sup> AVENUE, SCIO  
Public was allowed to attend in person, following COVID-19 protocols, or via Zoom.

**Time Start:** 5:00 P.M.

**Time End:** 5:31 P.M.

**CALL TO ORDER**

The meeting was called to order at 5:00 pm by Planning Commission Chairman Beau Buganski. Role call was taken by Cathy Martin, Administrative Assistant.

**PLANNING COMMISSION MEETING ATTENDANCE LOG**

<b>PLANNING COMMISSION</b>	<b>SCIO STAFF</b>
Chairman Beau Buganski – via Zoom	Cathy Martin, Administrative Assistant
Commissioner Richard Androes – via Zoon	David Kinney, Planning Consultant - excused
Commissioner Katrina Clouse – via Zoom	
Commissioner Ellie Ferguson – via Zoom	
Commissioner Ron Loewen – via Zoom	
Commissioner Nicole Zedwick - excused	
Vacancy	

**AUDIENCE MEMBERS IN ATTENDANCE**

Nancy Hallin via Zoom	Kelsey Hallin via Zoom
Lisa Carlson	

<b>AGENDA</b>	<b>ACTIONS</b>
<b><u>APPROVAL OF MINUTES</u></b> <ul style="list-style-type: none"> <li>June 30, 2021 Planning Commission Minutes</li> </ul>	<p>Motion from Commissioner Clouse, seconded by Commissioner Androes, to approve the minutes of June 30, 2021 as presented. <b>Motion passed 5:0</b></p>
<b><u>BUSINESS</u></b> <b>PUBLIC HEARING</b> <b>PL2021-05 – Nancy Hallin – Property Line Adjustment 10S01W18AA, Tax Lots 600, 601, 607 and 697</b> <ul style="list-style-type: none"> <li>a. Staff Report – Cathy Martin</li> </ul>	<p>Ms. Martin stated that Planning Consultant, Dave Kinney, drafted the letter of decision on the Property Line Adjustment. His recommendation to the city is to approve the application to modify the property lines and eliminate two of four parcels to create two residential lots. Mr. Kinney noted in the findings that the final location of the lot line between Parcel 1 and Parcel 2 may be adjusted north by up to 5' to provide a larger setback from the existing home at 38771 NE Ash Street, as long as the lot size of each parcel is a minimum of 10,000 square feet. The Findings and Conclusions prepared by Mr. Kinney conclude that the applicant has complied with the application requirements and decision criteria for a</p>

<ul style="list-style-type: none"> <li>b. Applicant's Presentation</li> <li>c. Public Comments</li> <li>d. Commissioner Discussion</li> <li>e. Planning Commission Decision</li> </ul>	<p>property line adjustment as set forth in the Scio Land Division Code Chapter 8.5.</p> <p>Nancy Hallin stated that her daughter Kelsy plans to place a home on Parcel 1 after the property line adjustment is recorded.</p> <p>None.</p> <p>None.</p> <p>Motion from Commissioner Clouse, seconded by Commissioner Androes, to approve the application number PL2021-05 by Nancy Hallin for a Property Line Adjustment and conditions of approval as recommended. <b>Motion passed 5:0</b></p>
<p><b>PUBLIC HEARING</b>  <b>PL2021-06 – Virginia Nelson – Property Line Adjustment 10S01W07DC, Tax Lots 600 and 700</b></p> <ul style="list-style-type: none"> <li>a. Staff Report – Cathy Martin</li> <li>b. Applicant's Presentation</li> <li>c. Public Comments</li> <li>d. Council Discussion</li> <li>e. Planning Commission Decision</li> </ul>	<p>Ms. Martin stated that Planning Consultant, Dave Kinney, drafted the letter of decision on the Property Line Adjustment. His recommendation to the city is to approve the application to adjust the property lines to include the shop building between the two homes on the same parcel as the home at 38843 NW Garden Drive. Lot 3 and Lot 4 of the M &amp; M Subdivision would be consolidated into a single parcel. The Findings and Conclusions as prepared by Mr. Kinney conclude that the applicant has complied with the application requirements and decision criteria for a property line adjustment as set forth in the Scio Land Division Code Chapter 8.5.</p> <p>Lisa Carlson, applicant's representative, stated the property line adjustment will allow her mother to prepare for the sale of the property. The shop always belonged with the house at 38843 NW Garden Drive it had just been placed on the other lot, which is a rental property. At the time it was built they didn't have the property line adjusted. Commissioner Clouse stated that this will make the property more valuable.</p> <p>None.</p> <p>None.</p> <p>Motion from Commissioner Ferguson, seconded by Commissioner Loewen, to approve the application number PL2021-06 by Virginia Nelson for a Property Line Adjustment and the conditions of approval as recommended. <b>Motion passed 5:0</b></p>



**Planning Commission Vacancy**

a. Staff report

Ms. Martin reminded the commission that there is still one opening for an in-town position.

b. Commissioners Discussion

Commissioner Clouse asked how long a person has to be living in town to be able to fill the position. Martin stated 12 months. Clouse then stated that she may be moving to town in the next few months and if this would change the requirement. Martin stated that since she is currently on the commission if she took up residency within the city limits, it would change the residency requirement.

# **Agenda Item 1**

**From:** [Laura LaRoque](#)  
**To:** [Cathy Martin](#)  
**Cc:** [dwkinney@wvi.com](mailto:dwkinney@wvi.com)  
**Subject:** Four Firs Tentative Subdivision Extension (2021-03)  
**Date:** Wednesday, January 26, 2022 9:19:30 AM

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Hello Cathy,

As you are already aware, on Wednesday, April 28, 2021, the Scio Planning Commission conditionally approved application planning file number 2021-03 for Four Firs Subdivision, a replat of Block 6, South Addition to Scio, into four lots. Conditions A and B of this approval included a requirement for the submittal and preliminary approval of the final engineering plans and final plat by May 31, 2022 and recording of the final plat by December 31, 2022. Unfortunately, due to unforeseen circumstances (mainly due to covid staff issues) the development team will be unable to meet the these deadlines. As such, a 1-year extension until May 31, 2023 (submittal of engineering plans) and December 31, 2023 (filing & recording the final plat) is requested in accordance with Scio Ordinance No. 562, Section 4.060(3).

Thank you in advance for your consideration of the request.



**Laura LaRoque**

*Director of Land Use Services*

Udell Engineering and Land Surveying, LLC.

63 East Ash Street, Lebanon, OR 97355

Office: (541) 451-5125

Direct: (541) 990-8661

Fax: (541) 451-1366

# **Agenda Item 2**



**David W. Kinney**  
Planning Consultant for the City of Scio  
791 E. Hollister St., Stayton, OR 97383  
Phone: (503) 551-0899  
Email: [dwkinney@wvi.com](mailto:dwkinney@wvi.com)

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## **SCIO PLANNING COMMISSION**

### **STAFF REPORT**

**HEARING DATE:** April 27, 2022

**STAFF REPORT DATE:** April 11, 2022

**FILE NUMBER:** PL 2022-01

**APPLICANT:** Gene Bolante  
Studio 3 Architecture  
275 Court St. NE  
Salem, OR 97301  
Email: [Gene@studio3architecture.com](mailto:Gene@studio3architecture.com)

**PROPERTY OWNER:** Scio Mutual Telephone Association  
PO Box 1100  
Scio, OR 97374

**PROPERTY:** 38996 SE 2nd Avenue, Scio, OR  

<u>Assessor's Map</u>	<u>Tax Lot</u>	<u>Account</u>	<u>Acres</u>	<u>Zoning</u>	<u>Address</u>
10S01W18AD	05100	381471	0.48	Commercial	38996 SE 2nd

**EXHIBITS:** EXHIBIT A Application & Shop Building Plans (7 sheets)  
EXHIBIT B Notice of Public Hearing (in City file)  
EXHIBIT C Agency Comments (if any are received)

**REQUEST:** Site Plan Review

**CRITERIA:** Scio Zoning Ordinance

▪ Section 3.200	Commercial (C) Zone
▪ Section 3.220	Uses Permitted per Site Plan Review
▪ Section 3.230	Setback Requirements
▪ Section 3.240	Lot Coverage
▪ Section 3.250	Drainage Plan

### Scio Zoning Ordinance Criteria (continued)

- Section 5.110 Exterior Lighting
- Section 5.200 to 5.230 Off-Street Parking and Loading
- Section 5.600 to 5.660 Signs
- Sections 11.010 to 11.050 Site Plan Review Requirements
- Sections 13.010 to 13.080 Public Facility Standards

## I. Applicant's Proposal

The City has received a land use application from Gene Bolante, Studio 3 Architecture, Salem, Oregon on behalf of the property owner, Scio Mutual Telephone Association. The applicants propose to construct a 2,190 square foot vehicle storage and maintenance building for the Scio Mutual Telephone Association adjacent to their office building at 38996 SE 2<sup>nd</sup> Avenue in Scio, Oregon. The project includes street widening, curb and sidewalk improvements on SE Ash Street abutting the property.

The proposed 72' x 30' building will have four vehicle bays and a storage area and restroom in a 5<sup>th</sup> bay. The new building will be accessed from the existing parking area behind the existing building. The property is located inside the Scio city limits and is zoned Commercial (C-1). Under the Scio Zoning Code Section 3.215 a communications / utility building or facility is a permitted use in the Commercial zone, subject to a site plan review by the Scio Planning Commission, prior to the issuance of a building permit.

The applicant submitted a site plan and the proposed shop building plans as Exhibit A. On April 11, 2022, Gene Bolante, Studio 3 Architecture, submitted an updated site plan for the project, Sheet A1.1, which is shown on the next page as Figure 1.

The burden of proof is on the applicant to present the application to the Planning Commission and to present information which shows that the application complies with all of the approval criteria of the City of Scio.

## II. Background Information.

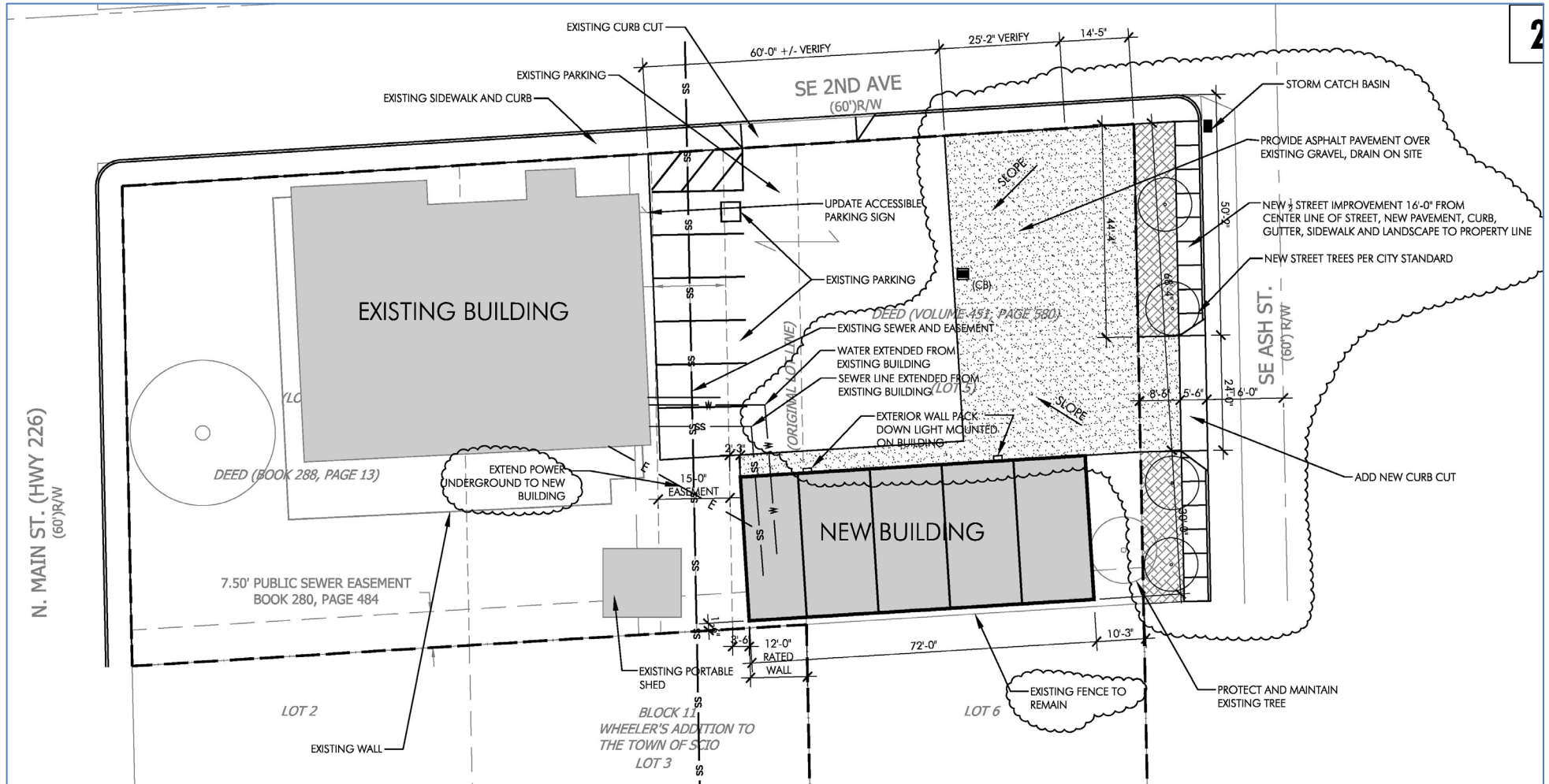
### A. Pre-Application Information and Application Submittals:

The City staff met with the applicant prior to the submittal of an application. The applicant filed an application and supporting documents with the City on March 7, 2022. The application was deemed complete on March 14, 2022. Therefore, the final local decision must be made by July 12, 2022 to comply with the "120 Day Rule".

### B. Application, Land Use Procedure and Review Requirements:

Article 12 of the Scio Zoning Ordinance outlines the application, notice and review requirements for land use applications. The property is located in the Commercial zone and is an allowed use subject to a site plan review. The Scio Planning Commission will make a decision to either approve or deny the application based on criteria found in the Scio Zoning Ordinance, Sections 11.010 to 11.050. The City Code can be viewed under "Codes & Ordinances" at the City of Scio website: <http://ci.scio.or.us>

Figure 1  
**Proposed SMTA Shop Building - Sheet A1.1 - Revised April 11, 2022**  
 38982 SE 2<sup>nd</sup> Avenue, Scio, Oregon



**C. Public Hearing and Notices of Public Hearing:**

A public hearing concerning the matter will be held before the Scio Planning Commission on Wednesday, April 27, 2022 beginning at 7:00 p.m. at the City Hall, 38957 NW 1st Avenue in Scio, Oregon.

Notice of the public hearing was provided to affected governmental agencies and adjacent property owners. Written notice was mailed to property owners within 200' of the subject property prior to April 7, 2022. Notice of the hearing was posted, mailed to property owners and agencies 20 days prior to the public hearing. At the conclusion of the hearing the Planning Commission will deliberate and make a decision to approve or deny the proposal. The Planning Commission decision may be appealed to the City Council.

**D. Existing Conditions:**

SMTA has an existing office / telecommunications facility in a 4,900-sf building at 38982 SE 2nd Avenue on the 0.48-acre parcel. The parking lot behind the existing building is used for parking, equipment and vehicle storage.

Figure 2  
**Existing SMTA Office**  
38982 SE 2<sup>nd</sup> Avenue, Scio, Oregon





**E. Existing City Services and Private Utilities:**

- City Services: The existing lots are served by city water and sewer services.
  - a. Water & Sewer Service: The existing building at 38982 SE 2<sup>nd</sup> Avenue is served by city water and sewer. Services will be extended to the new vehicle storage and shop building.
  - b. Roads: SE 2<sup>nd</sup> Avenue and SE Ash Street are city streets.
    - SE 2<sup>nd</sup> Avenue is paved with curbs and sidewalks in compliance with the city's public works improvement standards.
    - SE Ash Street has a paved 20' wide travel lane and a 15' gravel shoulder to the SMTA Parking area. It does not comply with city public works design standards.
- Private Utilities: The existing site is served with private utilities. No changes are proposed.

**F. Surrounding Properties;**

EAST: Single family home at 39008 SE 2<sup>nd</sup> Avenue and additional single-family dwellings east on SE 2<sup>nd</sup> Avenue.

NORTH: IOOF building and a single-family home at 38678 SE Ash Street.

WEST: Commercial building and residential uses on the west side of Hwy 226 between SW 2<sup>nd</sup> and SW 3<sup>rd</sup> Street in Scio.

SOUTH: Commercial building at 38930 Hwy 226. The area behind the new vehicle storage / shop facility is a gravel storage area.

**G. Flood Hazard Area:** The site is not located in the 100-year Special Flood Hazard Area. The building has an elevation certificate on file with the City of Scio.

**H. Agency Comments:** Agency comments were solicited from the Scio Rural Fire Protection District and private utilities. The City requested comments be submitted by April 15, 2022. Any comments submitted prior to the public hearing will be provided to the Planning Commission and included in the public record.

**I. Public Comments:** Written comments received prior to the public hearing and public testimony presented at the public hearing will be added to the record.

### **III. Review of Zoning and Site Plan Review Decision Criteria and Findings**

The application was reviewed to determine whether the proposal complies with the applicable standards and criteria in the Scio Zoning Ordinance. The application and a narrative submitted by the applicant address the applicable zoning requirements.

On March 28, 2022, the City requested the applicant provide additional information related to on-site storm drainage and public improvements on SE Ash St. The applicant submitted a revised Sheet A1.1 on April 11, 2022.

A. **Zoning Requirements.** The SMTA property is located in the Commercial (C-1) zone.

1. **Commercial (C-1) Zone Requirements.**

The proposed vehicle storage and maintenance facility is new 2,130 square foot shop building. The City reviewed applicable requirements in the basic zone, parking, public facilities and site plan review sections of the Scio Zoning Ordinance.

**3.215 Commercial (C-1) zone.** The proposed telecommunications facility, including the new vehicle storage and maintenance building, is a permitted use subject to a site plan review under Article 11 of the Scio Zoning Ordinance. The site plan review criteria are reviewed under Section III-C below.

**3.230 Setback Requirements.** In a C-1 zone, there are no required setbacks (front, side or rear) if the property is located in a C-1 zone and abuts a commercial zone. The proposal complies with Section 3.230.

**3.240 Lot Coverage.** In a C-1 zone, buildings may not occupy more than 80% of the lot area. Buildings on the SMTA site may occupy up to 16,780 sq. ft. The existing building is 5,330 sq. ft and the new building will be 2,130 sq ft. = 7,460 sq. ft. The proposal complies with Section 3.240.

**3.250 Drainage Plan.** The applicant is required to submit a drainage plan for City Engineer approval, prior to the issuance of a building permit.

The proposed facility complies with the basic zoning requirements of the C-1 zone.

2. **Supplemental Provisions - Sections 5.010 to 5.370.**

The following supplemental provisions of the Scio Zoning Ordinance apply to this proposal. They are reviewed under the applicable Site Plan Review Criteria.

5.110 Exterior Lighting. See Site Plan Review Criteria #8 below.

5.200 Off-Street Parking. See Site Plan Review Criteria #4 below.

5.600 Sign Standards. See Site Plan Review Criteria #9 below.

B. **Flood Hazard Ordinance Requirements.**

The City's flood maps show the property is located outside the 100-year flood hazard zone.

C. **Site Plan Review Criteria – Chapter 11 of the Scio Zoning Ordinance**

Chapter 11 "Site Plan Review" establishes application requirements and decision criteria. A decision to approve or deny a site plan shall be based on criteria in Section 11.030 of the Zoning Ordinance. The purpose of a site plan review is to ensure compliance with the City's zoning regulations, public works standards, flood regulations and building code requirements. If approved, the applicant may apply for a building permit for the project.

**Criteria 1: Adequate public and private utilities are available to serve the development in compliance with the City’s public works standards.**

**Facts:**

1. Water: The City has an existing 12” water main in Hwy 226 abutting the site. The closest fire hydrant is at the corner of Hwy 226 & SE 2<sup>nd</sup> Avenue, within 250’ of the new building. The applicant does not propose any changes to the existing water service. Sheet A1.1 shows a water service line will be extended from the existing office building to the shop building.
2. Sanitary Sewer: The building is connected to the 8” sanitary sewer that runs north-south behind the office building. Sheet A1.1 shows a new building sewer will be connected to the building sewer at the office building.
3. Storm Drainage Facilities: The City has a catch basin at the corner of SE 2<sup>nd</sup> Avenue and SE Ash Street, that connects to an 8” storm sewer that runs north and discharges to Thomas Creek. Sheet A1.1 shows this CB will be relocated along the new curb line at the corner of SE 2<sup>nd</sup> and SE Ash St. Sheet A1.1 also shows a new catch basin in the center of the parking area, but does not indicate if this will be a UIC detention facility or will be connected to the city storm sewer. A storm drainage analysis and final engineering plans will need to be submitted to the City Engineer for his review and approval, prior to the issuance of a building permit.
4. Public Works Design and Construction Requirements: Chapter 13 “Public Facilities” and the City’s public works design standards and construction specifications apply to the design and construction of on-site and off-site public improvements, including the provision of any needed public utility easements. The applicant does not propose any changes to existing water or sewer facilities, but the final storm drainage facilities must comply with the City of Scio Public Works Design Standards.
5. Private Utilities: Power and telecommunications serve the existing site. Underground electrical service will be provided to the new building.

**Findings and Conclusions for Criteria 1 “Public Facilities”:**

The current building is served by existing public facility and private utility services, as shown on Sheet A1.1. The City concludes the existing water and sewer utilities are adequate to serve the site.

**Recommended Condition of Approval:** The applicant will submit final engineering plans for the on-site and off-site storm drainage system, in compliance with the Scio PWDS, for review and approval by the City Engineer, prior to the issuance of a building permit. Improvements shall be completed prior to the issuance of a certificate of occupancy for the new building.

The City concludes that upon compliance with the condition of approval, the proposed water, sewer and storm drainage facilities can comply with Criteria 1.

**Criteria 2: Provision of safe and efficient internal traffic circulation, including pedestrian and motor vehicle traffic, and provision for safe access to and from the property to adjacent public streets.**

**Criteria 3: Provision of necessary improvements to local streets, including the dedication of additional right-of-way to the city and/or the improvement of traffic facilities to accommodate access for emergency vehicles and the additional traffic load generated by the proposed development of the site.**

### **Facts:**

1. **SE 2nd Avenue:** SE 2<sup>nd</sup> Avenue is a fully improved City street with a 60' ROW and a 32'-wide pavement section. SE 2<sup>nd</sup> Avenue has a curb and sidewalk on the south of the street from SE 2nd Street to the SE Ash Street ROW line, as shown on Sheet A1.1. There is no curb return or sidewalk at the intersection of SE 2<sup>nd</sup> and SE Ash Street. A storm catch basin is located at the SW corner of the intersection of SE 2<sup>nd</sup> & SE Ash Streets.
2. **SE Ash Street:** SE Ash Street is a turnpike style street with a 60'-wide ROW and a 20'-wide AC pavement section. The street has no curb or sidewalk on the west side of the street abutting the site. The street does not comply with the City's public works requirements in Section 13.020 of the Zoning Code and Map 13.1, which call for SE Ash Street to be an improved local street with curbs, sidewalk and a 32'-36'-wide AC pavement section. Sheet A1.1 shows the applicant proposes to construct AC pavement widening, curbs, storm sewer inlet, sidewalks and landscaping along SE Ash Street.
3. **Traffic Impact:** The proposed shop building will not generate any significant traffic increases, since the property has already been used by SMTA for vehicle and equipment storage.

### **Findings and Conclusions for Criteria 2 and 3 "Streets, Traffic Circulation and Pedestrian Access":**

The City makes the following findings and conclusions:

1. **SE 2nd Avenue – Street and Sidewalk:** Existing street and sidewalk improvements on SE 2nd Avenue comply with City of Scio public works design standards. No street or sidewalk improvements are required.
2. **SE Ash Street – Street, Sidewalk and Storm Drainage:** Existing street, sidewalk and storm sewers on SE Ash Street do not comply with City of Scio public works design standards. The applicant is required to design and install AC pavement widening, curb, sidewalk and storm improvements on SE Ash Street.

**Recommended Condition of Approval:** The applicant will submit final engineering plans for the SE Ash Street improvements, for review and approval by the City Engineer, prior to the issuance of a building permit. Improvements shall be completed prior to the issuance of a certificate of occupancy for the new building.

The City concludes the proposal can comply with Criteria 2 and Criteria 3 subject to compliance with the recommended condition of approval.

**Criteria 4: Provision of on-site parking areas and adequate loading/unloading areas for the proposed uses and in compliance with Sections 5.200 to 5.230 of this ordinance. The parking area shall be designed to facilitate the safe movement of traffic and pedestrians and minimize traffic congestion.**

### **Facts:**

The applicant must comply with the off-street parking and loading requirements in Sections 5.200 to 5.230 of the Zoning Ordinance. Sheet A1.1 dated April 11, 2022 shows six existing parking spaces and 4 vehicle storage bays inside the new building.

1. Off-Street Parking and Loading Requirements. Parking lot improvements must be built concurrently with the building; they must be completed before the County provides a certificate of occupancy.
2. # of Parking Spaces Required for Employee and Service Vehicle Parking. Sheet A1.1 shows six existing parking spaces behind the existing office/telecommunications building. The new vehicle storage bays will provide 4 bays for SMTA vehicles and equipment. Section 5.210 “Off-Street Parking” requires a total of 10 parking spaces. The proposal complies with the city’s parking space requirements.

Table 1  
Parking Requirements

Use	# Parking Spaces per sq. ft.	# of Parking Spaces Required	# of Parking Spaces Provided
Existing Office/Telecomm Building	1/500 sf	9 spaces	6 spaces
Vehicle Maintenance/Shop Building Area 1 (360 sq. ft.) – Does not include the four large vehicle bays & storage area.	1/600 sf	1 space	4 spaces (in bays)
<b>Totals</b>		<b>10 spaces</b>	<b>10 spaces</b>

3. Parking Lot Design Standards: Parking lot design standards include:
  - a. All-weather hard surface and curbing.
  - b. ADA parking spaces and signage.
  - c. No drainage flowing over sidewalks.
  - d. AC parking area must have a bumper guard to prevent vehicles from hitting fences or landscaping and to prevent vehicles from protruding across the property line.

The existing gravel parking area does not comply with the City’s public works design and construction standards. A paved parking area is proposed to comply with city standards. Sheet A1.1 dated April 11, 2022 shows the following:

- a. Paved Parking: The east side of the parking lot will be paved.
- b. ADA: The existing ADA space and sign will be modified to comply with ADA standards.
- c. Storm Drainage: The site is sloped to direct storm water to a catch basin in the center of the parking lot; no drainage will flow over the sidewalks.

The site plan does not show a curb adjacent to the landscape strip between the sidewalk and the parking lot.

4. Trash Receptacle Enclosure. The site plan does not propose a trash receptacle enclosure. Trash pickup occurs behind the building using existing a small dumpster and garbage containers. A separate trash enclosure is not required.
5. Timing for Completion of the Parking Lot Improvements. All parking improvements must be completed prior to issuance of a certificate of occupancy for the new building.

Findings and Conclusions for Criteria 4 “Parking”. The City makes the following findings and conclusions.

1. The site plan shows adequate parking and vehicle storage areas will be provided to comply with the city's standards.
2. Parking lot improvements will be extended to the edge of the City ROW. Sheet A1.1 complies with the City of Scio parking lot design requirements. A curb or bumper guards are required to prevent vehicles from driving into the landscaped areas.

The City concludes the proposal complies with the city's parking standards subject to compliance with the recommended conditions of approval.

**Criteria 5:** The design and placement on the site of buildings and other structural improvements shall provide compatibility in size, scale, and intensity of use between the proposed development and similar development on neighboring properties. The location, appearance and size of the proposed buildings shall be designed to properly serve anticipated users of the proposed improvements.

**Criteria 6:** Provision of landscaping of the site including the planting of trees, street trees, shrubs, and groundcovers so that the landscaping presents an attractive interface with adjacent residential properties.

**Criteria 7:** Provision of visual or physical barriers around the property including the provision of site obscuring fencing or vegetative screening between a commercial and/or public use and adjacent residential properties.

**Facts:**

1. SMTA's new shop building will have a concrete base wall, fiber-cement siding (looks like standard wood siding) and a metal roof. A fire-rated wall will be on the south side, where the building will be within 2' of the property line.
2. The front yard and south side yard are landscaped and fenced. The revised Sheet A1.1 shows a landscape strip with street trees between the parking lot and the SE Ash Street sidewalk. Gene Bolante, Studio 3 Architecture, responded on April 11, 2022 that a more detailed landscape plan, with tree species and planting plan, will be submitted with the building plans.
3. The front and side yard around the existing building area fenced in compliance with Criteria 7. A site obscuring chain link fence runs along the south property boundary, just south of where the new building will be constructed.

**Findings and Conclusions for Criteria #5, #6 and #7:** The City concludes the new building is compatible with surrounding commercial structures in the adjacent blocks. The proposal complies with Criteria #5. The existing fencing on the site complies with Criteria #7.

Revised Sheet A1.1 dated April 11, 2022 shows landscaping in the planting strip behind the sidewalk on SE Ash Street, including the provision of street trees in the planting area.

**Recommended Condition of Approval:** The applicant will submit a final landscaping plan for approval by the City Manager, prior to the issuance of a building permit. The plan will show the location and species of street trees, shrubs and ground cover to be planted in the SE Ash Street landscape strip.

The proposal can comply with Criteria #6 "Landscaping".

**Criteria 8:**        **Lighting sufficient to satisfy the intended use of the property but designed in such a manner as to not present an adverse impact (as measured by excessive brightness or glare) upon adjacent land uses or traffic movements.**

**Facts:**

1. Lighting: Section 5.110 requires exterior lighting to be located, hooded or screened in such a manner so as not to face directly, shine or reflect glare onto an adjacent street or residence. *Parking lots, interior access driveways and roads, and interior pathways and sidewalks shall be adequately lit at night.*
2. There is a wall light on the back of the SMTA office building above the existing parking spaces.
3. There is a street light on a utility pole overlooking the center of the parking lot.
4. Sheet A1.1 shows two wall-mounted lights on the north side of the new shop building. Plan notes indicate the lights will be down-lighted to comply with the city's lighting standards.

**Findings and Conclusions for Criteria 8 “Outdoor Lighting”.**

Two exterior wall-pack lights are proposed, with light to be directed down to avoid glare to adjacent properties. The proposal complies with Criteria #8 “Outdoor Lighting”.

**Criteria 9:**        **The use is in compliance with the other development standards which are specified by the Scio Zoning Code or public works design and construction standards.**

**Facts:**

1. Commercial Zone Requirements (Zoning Code 3.215 to 3.250): The proposed building is a permitted use in the C-1 zone. The proposed building addition complies with the lot size, dimension, height and yard requirements in the C-1 zone (see page 5, Section III-A of this staff report).
2. Supplemental Provisions (Zoning Code 5.010 to 5.600): The only additional supplemental provision that may apply to this proposal is Section 5.600.

**5.600 Signs:** If a sign is installed, it must comply with Section 5.600 through 5.699 of the Scio Zoning Ordinance. The City staff will review sign plans when they are submitted to the City. *The proposal can comply with Section 5.600 at the time a sign is installed.*

3. Public Works Design Standards and Construction Specifications: The proposal must comply with the City of Scio Public Works Standards. See the findings and conclusions in Section III-D.

**Findings and Conclusions for Criteria 9 “Other Requirements and Public Works Standards”.** The City finds the proposal can comply with the city sign requirements by obtaining city staff review prior to the installation of a sign. See Section III-D below for review of the public works design standard requirements. The proposal complies with Criteria 9 “Other Requirements”

**D. Public Facilities Standards - Chapter 13 of the Scio Zoning Ordinance**

Chapter 13 “Public Facilities” establishes requirements and standards for the installation of public facilities for a development and/or land division. The following sections of Chapter 13 apply to the SMTA project:



### 13.010 Applicability of Public Facility Standards.

- C. Public Works Design Standards. All public improvements must comply with the city's adopted public works design standards. A copy was provided to the applicant.
- D. Public Improvement Requirement. No building permit may be issued until required public facility improvements are in place or approved by the City Engineer/Public Works Supervisor. Improvements required as part of a development shall be roughly proportional to the development.
- E. Completion. All required public improvements shall be completed prior to the issuance of a certificate of occupancy, or the property owner may provide a performance bond or security as a financial guarantee to the City.

### 13.020 Transportation Standards.

- A. General Requirements. Existing substandard streets . . . abutting a proposed development shall be improved as a condition of approval.
- D. Street Design Requirements / Future Street Plan. Map 13.1 "City of Scio Future Street Plan" shows SE 2<sup>nd</sup> and SE Ash Street are planned for full street improvements, including curb, sidewalk and full-width pavement.

#### Findings and Conclusions for Sections 13.010 and 13.020.

As noted above in Section III-C "Site Plan Review – Criteria 2", the existing SE Ash Street does have full-width pavement section, curbs or sidewalks along the applicant's property frontage. Sheet A1.1 dated April 11, 2022 shows the applicant plans to construct SE Ash Street frontage improvements, including AC pavement widening, curbs, gutters, sidewalks and catch basin improvements. Upon completion of construction, the proposal will comply with Sections 13.010 and 13.020.

**Recommended Condition of Approval:** The applicant will submit final engineering plans for the SE Ash Street improvements, for review and approval by the City Engineer, prior to the issuance of a building permit.

### 13.050 Storm Drainage and Surface Water Management:

- B. Storm Water Analysis & Report. An applicant for a development approval is required to submit a storm drainage analysis and report, plus plans for on-site storm system improvements and any connection to public storm drainage facilities.

#### Findings and Conclusions for Sections 13.050.

The applicant did not submit a storm drainage report or a plan for handling storm drainage on site or final construction plans for the proposed storm drainage improvements in the parking area.

**Recommended Condition of Approval:** The applicant will submit final engineering plans for the on-site and off-site storm drainage system, in compliance with the Scio PWDS, for review and approval by the City Engineer, prior to the issuance of a building permit.



### 13.060 Private Utilities

*B. Underground Utilities.* Private utilities to a development shall be underground, except where the City Manager grants an exception to allow overhead utilities.

#### Findings and Conclusions for Sections 13.050.

Revised Sheet A1.1 dated April 11, 2022 shows electrical service will be extended underground to the new shop building. The proposed site plan complies with Section 13.060.

### 13.080 Construction Plan Approval & 13.090 Facility Installation

The City Engineer must approve all plans for construction of public improvements, including streets, curbs, sidewalks and storm drainage. Improvements shall be constructed in compliance with the approved plans. The City Engineer or public works staff will inspect the construction. The applicant's engineer will provide the City with a set of as-built drawings when the public improvements are completed and accepted by the City.

#### Findings and Conclusions for Sections 13.080 and 13.090.

Engineering plans for required public improvements were not submitted with the application, but will be filed and approved by the City prior to issuance of a building permit.

**Recommended Condition of Approval:** The applicant will submit final engineering plans for the SE Ash Street improvements. Improvements shall be completed prior to the issuance of a certificate of occupancy for the new building and as-built drawings shall be provided to the City of Scio (2 full-size sets and .pdf).

The City concludes the proposal can comply with Sections 13.080 and 13.090.

## IV. Conditions of Approval

- A. **Conditions of Approval:** If the application is approved by the Planning Commission, the staff recommends the approval be subject to the following conditions of approval:
1. **Approved Site Plan for SMTA Vehicle Storage/Shop Building at 38996 SE 2nd Avenue.** The Planning Commission hereby approves the site plan for SMTA's new vehicle storage/shop building at 38996 SE 2nd Avenue as shown on the revised site plan, Sheet A1.1 of the Preliminary Architectural Plans dated April 11, 2022, as submitted by Studio 3 Architecture. The site plan shall be stamped approved by the City of Scio Planning Department and dated April 27, 2022. Approval is granted subject to the applicant's compliance with all of the conditions of approval.
  2. **Plan Submittal:** The applicant's architect and civil engineer will submit a revised plan set including the following:
    - a. **SE Ash Street Improvements.** Engineering plans for SE Ash Street showing AC pavement widening, curb, gutters, sidewalks, ADA ramp, landscaping/planting strip and storm drainage facilities. The applicant should consult with City Engineer Ryan Quigley, The Dyer Partnership, prior to preparing the final engineering plans for submittal to the City to verify the AC pavement width and curb locations and city public works design requirements.
    - b. **Storm Drainage Analysis & Report.** A storm drainage analysis that complies with the City's

public works design standards with a proposed storm drainage plan for on-site drainage systems and connection to the off-site city storm sewers.

- c. **Final Building Plan Set.** The final architectural plan set that is submitted with the building permit application shall include a final landscaping plan and shall show any revisions made to Sheet A1.1 based on the City Engineer's review of the street and storm drainage plans.
3. **Construction of Public Improvements.** Public improvements for SE Ash Street and any public storm drainage facilities shall be constructed at the property owners' sole cost and expense.
  - a. **Start of Work and Coordination with Public Works.** The applicant's contractor shall coordinate the start of construction, on-site inspections and final inspections with the City Engineer.
  - b. **Certification of Completion and As-Built Plans.** At the conclusion of construction, the City Engineer will complete a final inspection and issue a certificate of completion. The applicant's engineer shall provide the City with a set of as-constructed drawings. (full-size prints and electronic files (.pdf or CAD)).
4. **Certificate of Occupancy.** The Linn County Building Department will not issue a certificate of occupancy until the on-site improvements and the off-site public improvements are completed.
5. **Expiration.** The site plan approval will expire on May 1, 2023 if a building permit application has not been filed with the City for the construction of the new vehicle storage/shop building at 38996 SE 2<sup>nd</sup> Avenue.

## **V. Recommendations and Decision**

- A. **Planning Commission Options:** The Planning Commission may either:
  1. Continue the Public Hearing until (date & time).
  2. Close the Public Hearing but hold the Written Record Open until (date and time)
  3. Close the Public Hearing and approve the proposal.
  4. Close the Public Hearing and deny the proposal.
- B. **Staff Recommendation:** If the applicant submits a revised Sheet A1.1 addressing issues raised in the staff report, the staff recommends approval, subject to the recommended conditions of approval.
- C. **Motions:**

<u>Approval:</u>	<b>Motion to approve the site plan review application for SMTA's shop building at 38996 SE 2<sup>nd</sup> Avenue in Scio, File No. PL 2022-01, subject to the conditions of approval and to adopt the findings of fact.</b>
<u>Denial:</u>	<b>Motion to recommend denial of the application, City of Scio, File No. PL 2022-01 because the applicant failed to demonstrate that the proposal fully complies with all of the City of Scio site plan review criteria in Chapter 11 and Public Works Standards in Chapter 13 of the City of Scio Zoning Code.</b>

## **VI. FINAL DECISION AND RIGHT OF APPEAL**

### **A. Notice of Decision:**

A written NOTICE OF DECISION will be issued to the applicant and all participants of record within five (5) business days of the Planning Commission's decision. The Planning Commission is the final decision authority. The decision is final unless the Planning Commission's decision is appealed to the City Council. If no appeal is filed, building permits may be issued by the City at the end of the appeal period.

### **B. Right of Appeal:**

The Planning Commission decision may be appealed to the City Council by filing an appeal with the City within fifteen (15) days of the date the City issues the written Notice of Decision. Appeals must comply with the appeal provisions in Chapter 12 of the Scio Zoning Ordinance.



City of Scio

Planning File No.:

PL2022-01

PO Box 37  
38957 NW 1<sup>st</sup> Avenue  
Scio, OR 97374

PH: (541)394-3342  
FAX: (541)394-2340  
Website: ci.scio.or.us  
[cmartin.cityofscio@smt-net.com](mailto:cmartin.cityofscio@smt-net.com)

## Site Plan Review Application

### APPLICANT INFORMATION

Name:	<u>Gene Bolante</u>	Phone:	<u>503-390-6500</u>
Address:	<u>275 Court Street NE</u>	Cell:	
	<u>Salem, OR 97301</u>	Email:	<u>gene@studio3architecture.com</u>

### Applicant Certification

*I hereby certify that the statements, attachments, exhibits, plot plan and other information submitted as a part of this application are true; that the proposed land use activity does not violate covenants, conditions and restrictions associated with the subject property; and any approval granted based on this information may be revoked if it is found that such statements are false.*

*I acknowledge and agree that I will be responsible for any additional costs incurred by the City of Scio for the review and processing of this land use application in accordance with the city's land use fee policies.*

Signature: 

Date: 03-07-2022

### PROPERTY INFORMATION

Situs Address:	<u>38996 SE 2nd</u>	Nearest Cross Street:	<u>2nd and Main</u>
Assessor Map & Tax Lot Number(s):	<u>5100</u>		
Current Zoning:	<u>Commercial</u>		
Total Area (sq. ft. or acres):	<u>28,142 sf</u>		
Current Use of Property:	<u>Office, service, storage</u>		

### PROPOSED USE

Proposed Use:	<u>Maintain use, but add service vehicle storage building.</u>

Describe uses of property surrounding your property (attach additional page if needed):

North: Commercial and residential

East: Residential

South: Commercial and residential

West: Residential

Describe the existing buildings and uses on the property (attach additional page if needed) :

Existing building to remain, currently used for office, service and telecommunications. Exterior storage on site for service vehicles and materials.

Describe the physical characteristics of your property (areas subject problems of flooding, location of drainage ways, wetlands, etc.) (attach additional page if needed):

Existing building, within flood area, existing building provided with flood wall. Paved and gravel parking, gravel storage areas and some landscaping.

Describe any potential impacts to adjacent properties. Will the proposed use affect the livability or affect any future development of abutting properties? (attach additional page if needed):

The new storage building should not have any impact on neighboring uses.

Describe the vehicular access to your property (attach additional page if needed):

There are existing curb cuts off 2nd street that will be maintained.

Does your property have city water? Y Pipe Size? \_\_\_\_\_

Does your property have city sewer? Y Line Size? \_\_\_\_\_



# INTERIOR IMPROVEMENT SHOP BUILDING

SMTA COMMUNICATION AND TECHNOLOGY CO-OP

38996 SE 2ND SCIO, OREGON

## VICINITY GRAPHIC MAP:

PROJECT LOCATION



## DRAWING LIST:

A00	TITLE SHEET
A01	GENERAL NOTES
A11	SITE PLAN
A21	FLOOR PLAN
A31	ELEVATIONS
A32	SECTIONS
A61	SCHEDULES AND DETAILS
S1	STRUCTURAL NOTES AND COVER SHEET
S2	FOUNDATION AND FRAMING PLAN
S3	DETAILS

## PERMITS BY OTHERS:

- ELECTRICAL

## DEFERRED SUBMITTALS:

- ROOF TRUSSES

## CODE REVIEW:

### SMTA STORAGE BUILDING

GOVERNING CODES:	
• Structural - Life Safety:	2019 Oregon Structural Specialty Code (OSSC)
• Mechanical:	2014 Oregon Mechanical Specialty Code
• Plumbing:	2017 Oregon Plumbing Specialty Code
• Electrical:	2017 Oregon Electrical Specialty Code
• Energy:	2014 Oregon Energy Efficiency Specialty Code
• Fire Sprinklers:	NFPA 13 - Standard for the Installation of Sprinkler Systems
• Fire Alarm:	NFPA 72 - National Fire Alarm Code
• Fire Code:	2019 Oregon Fire Code
• Gas Code:	2012 International Fuel Gas Code

USE AND OCCUPANCY CLASSIFICATION:	
• 'S1'	'Storage'

CONSTRUCTION TYPE:	
• TYPE V-B	

ALLOWABLE AREA :	S1 @ NS
Building Area = 2,190 s.f.	< 9,000 s.f. Permitted

TOTAL OCCUPANT LOAD:	2,190 / 300 = 10 Occupants
----------------------	----------------------------

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS IN HOURS per Table 601 and 602	
Structural Frame Including Columns, Girders and trusses:	0 hrs
Bearing Walls, Exterior:	0 hrs
Bearing Walls, Interior:	0 hrs
Non-bearing Walls, Exterior:	< 5' to property line 1 hrs
Non-bearing Walls, Exterior:	> 5' but < 10' to property line 1 hrs
Non-bearing Walls, Exterior:	> 10' but < 30' to property line 0 hrs
Non-bearing Walls, Exterior:	≥30' to property line 0 hrs
Non-bearing Walls and Partitions, Interior:	0 hrs
Floor Construction Including supporting beams and joists:	0 hrs
Roof Construction:	0 hrs

FIRE PROTECTION SYSTEMS:	
• Portable Fire Extinguishers required per OSSC 2019	

ACCESSIBILITY:	
• All new construction shall be accessible.	

CHAPTER 29:	
• Restrooms provided in main building.	

## PROJECT TEAM:

### OWNER:

SMTA  
DERRICK MOTTERN  
PO BOX 1100  
SCIO, OREGON

### ARCHITECT:

STUDIO 3 ARCHITECTURE, Inc.

Gene Bolante, AIA

275 Court St. NE Salem, OR 97301

503-390-6500

gene@studio3architecture.com

### STRUCTURAL ENGINEER:

HHPR

Jason Dhanens, PE

205 SE Spokane St., Suite 200

Portland, OR 97202

503-221-1131

jasond@hhpr.com

STUDIO



ARCHITECTURE  
INCORPORATED

275 COURT ST. NE  
SALEM, OR 97301  
503.390.6500  
www.studio3architecture.com



IN THE EVENT CONFLICTS ARE DISCOVERED  
BETWEEN THE ORIGINAL SIGNED AND SEALED  
DOCUMENTS PREPARED BY THE ARCHITECTS  
AND/OR THEIR CONSULTANTS, AND ANY COPY OF  
THE DOCUMENTS TRANSMITTED BY MAIL, FAX,  
ELECTRONICALLY OR OTHERWISE, THE ORIGINAL  
SIGNED AND SEALED DOCUMENTS SHALL GOVERN.

PROJECT # 2021-217

DATE: 1 FEB 2022

REVISIONS

NEW SHOP BUILDING :: SMTA COMMUNICATION AND TECHNOLOGY CO-OP 38996 SE 2ND SCIO, OREGON

SHEET

A0.0



GENERAL NOTES:

- GENERAL NOTES APPLY TO ALL DRAWINGS.
- ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 OREGON STRUCTURAL SPECIALTY CODE. CONSTRUCTION SHALL COMPLY WITH ANY TITLES/RULES/LAWS THE LOCAL JURISDICTION ENFORCES UP TO AND BEYOND THE 2019 OREGON STRUCTURAL SPECIALTY CODE. ACCESSIBILITY SHALL COMPLY WITH THE ANSI/ICC A117.1-2009.
- CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL INSPECTIONS AND TESTS REQUIRED BY ANY GOVERNMENT AGENCY TO IMPLEMENT THE PLANS AND ACCEPT ANY REQUIRED SPECIAL INSPECTIONS OR REPORTS, WHICH SHALL BE PAID FOR BY THE OWNER.
- WORK SHOWN ON THESE DRAWINGS IS TO BE SUPPLIED, FURNISHED, CONSTRUCTED, INSTALLED ALL AS PER THE GENERAL CONDITIONS AND THE SPECIFICATIONS: EXCEPTIONS AS DESCRIBED BY THE FOLLOWING ABBREVIATIONS:
  - CFCI CONTRACTOR FURNISHED - CONTRACTOR INSTALLED
  - OFCI OWNER FURNISHED - CONTRACTOR INSTALLED
  - OFOI OWNER FURNISHED - OWNER INSTALLED
  - NIC OR N.I.C. NOT IN CONTRACT OR NOT A PART OF THIS CONTRACT.
- DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY. ALL DIMENSIONS ARE TO FACE OF STUD OR CONCRETE, UNLESS OTHERWISE NOTED, THOSE INDICATED AS CLEAR SHALL BE FROM FINISH.
- THESE DRAWINGS HAVE BEEN ASSEMBLED FOR USE AT THEIR CURRENT SIZE AND SCALE. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR WORK NOT CONFORMING TO THESE DOCUMENTS DUE TO THE USE OF REDUCED SCALE DRAWINGS FOR ESTIMATING OR CONSTRUCTION PURPOSES.
- WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, THE WORK SHALL BE EXECUTED CONSISTENT WITH THE INTENT DEMONSTRATED BY DETAILS PROVIDED FOR OTHER WORK. IF QUESTIONS REMAIN ABOUT INTENT, CONTACT THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- ALL SURFACES AND MATERIALS SHALL BE THOROUGHLY PREPARED SMOOTH, CLEAN, LEVEL AND EVEN. BY COMMENCING FINISH INSTALLATION, THE FINISH CONTRACTOR SIGNIFIES ITS ACCEPTANCE OF THE SUBSTRATE AND THEREBY ASSUMES RESPONSIBILITY FOR THE QUALITY OF THE INSTALLATION.
- WHERE DEVICES OR ITEMS OR PARTS THEREOF ARE REFERRED TO IN SINGULAR, IT IS INTENDED THAT SUCH SHALL APPLY TO AS MANY SUCH DEVICES, ITEMS, OR PARTS AS ARE REQUIRED TO PROPERLY COMPLETE THE WORK.
- THE CONTRACTOR SHALL LAYOUT THE WORK PRIOR TO PROCEEDING. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL DISCREPANCIES WITH THE LAYOUT. SUCH INSPECTION SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO CONFORM TO THE INTENT OF THE CONTRACT DOCUMENTS.
- UNLESS OTHERWISE NOTED, DIMENSIONS, PLACEMENTS AND ALIGNMENTS SHOWN ARE CRITICAL FOR THE INSTALLATION OF FURNITURE AND EQUIPMENT AS WELL AS FOR THE USE OF THE SPACE BY OCCUPANTS. FINISHED DIMENSIONS MAY VARY UPWARD BY 1/4" BUT MAY NOT VARY DOWNWARD. WHERE +/- IS INDICATED VARIATION OF UP TO 3% SHALL BE ALLOWABLE. ALIGNMENTS OF NEW AND EXISTING CONDITIONS SHALL BE FINISHED TO A SMOOTH AND MONOLITHIC APPEARANCE (GAP SHALL BE OVERLAPPED TO AN INSIDE OR OUTSIDE CORNER WHERE PRACTICABLE TO AVOID CRACKING).
- DO NOT DEVIATE FROM THE CONSTRUCTION DOCUMENTS WITHOUT THE ARCHITECT'S WRITTEN APPROVAL. THE CONTRACTOR AGREES TO DEFEND INDEMNIFY AND HOLD HARMLESS THE ARCHITECT FROM ANY CLAIMS ARISING AS A RESULT OF CHANGES TO THE WORK WITHOUT PRIOR APPROVAL FROM THE ARCHITECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ARRIVAL OF ALL SPECIFIED FINISH MATERIALS, EQUIPMENT AND ALL OTHER MATERIALS TO BE UTILIZED ON THE PROJECT. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING WITHIN 10 DAYS OF DATE OF CONTRACT OF THOSE SPECIFIED ITEMS THAT MAY NOT BE READILY AVAILABLE AND SUBSTITUTE ITEMS OF EQUAL QUALITY AND DESCRIPTION. IF NOTIFICATION IS NOT RECEIVED BY THE ARCHITECT, THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR THE PROPER ORDERING AND FOLLOW UP OF SPECIFIED COST TO THE OWNER TO INSURE AVAILABILITY OF ALL SPECIFIED ITEMS SO AS NOT TO CREATE A HARDSHIP ON THE OWNER NOR DELAY PROGRESS OF THE WORK.
- IF REQUIRED CONSTRUCTION BARRIERS SHALL BE INSTALLED BY THE GENERAL CONTRACTOR, PAINTED, DETAILED, AND ILLUMINATED AS PER THE ARCHITECT'S DIRECTION. NO SIGNS OTHER THAN THOSE AUTHORIZED BY THE ARCHITECT OR OWNER WILL BE PERMITTED ON THIS BARRICADE.
- NEITHER THE OWNER NOR THE ARCHITECT WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, INSTALL AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
- ALL EXISTING FACILITIES TO BE MAINTAINED IN-PLACE BY THE CONTRACTOR UNLESS OTHERWISE SHOWN OR DIRECTED. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO SUPPORT, MAINTAIN OR OTHERWISE PROTECT EXISTING UTILITIES AND OTHER FACILITIES AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR SHALL LEAVE EXISTING FACILITIES IN AN EQUAL OR BETTER-THAN-ORIGINAL CONDITION AND TO THE SATISFACTION OF THE ARCHITECT/OWNER.
- THE GENERAL CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE GENERAL CONTRACTOR SHALL BEAR ALL EXPENSES OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONIUNCTION WITH THE EXECUTION OF HIS/HER WORK.
- THE GENERAL CONTRACTOR SHALL SECURE ALL PERMITS REQUIRED BY THE LOCAL JURISDICTION, STATE AGENCY AND/OR COUNTY.
- MECHANICAL HVAC, PLUMBING, FIRE SUPPRESSION, LOW VOLTAGE AND ELECTRICAL WORK REQUIRE SEPARATE PERMITS. TRADE SUBCONTRACTORS SHALL SECURE ALL REQUIRED PERMITS AFFECTING THEIR SCOPE OF WORK.
- EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING AN OCCUPANT LOAD GREATER THAN 50.
- INSTALL WALL BACKING FOR ALL WALL MOUNTED ITEMS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: DOOR STOPS, FIXTURES, WALL CABINETS, SHELVING, COUNTERS, TOILET ACCESSORIES, SECURITY EQUIPMENT, HAND RAILS, WINDOW COVERING TRACKS, EQUIPMENT RACKS, ETC.
- COORDINATE LOCATION OF RECESSED OR SEMI-RECESSED ITEMS TO AVOID BACK TO BACK INSTALLATION AND TO REDUCE NOISE TRANSFER THROUGH PARTITIONS.
- PROVIDE WATER RESISTANT GYPSUM BOARD AT BATHTUB/SOWER WALLS AND BATHROOM CEILINGS.
- ARCHITECT SHOWS FIRE EXTINGUISHERS IN GENERAL LOGICAL LOCATION: VERIFY REQUIREMENTS AND LOCATIONS WITH LOCAL FIRE MARSHAL. GENERAL CONTRACTOR TO PROVIDE FIRE EXTINGUISHERS AND CABINETS (WHERE CALLED OUT).
- SPECIFICATIONS OF MATERIAL AND EQUIPMENT BY THE USE OF NAME, MODEL NUMBER, AND/OR GENERAL COORDINATE INSTALLATIONS WITH EQUIPMENT DIMENSIONS, INCLUDING EQUIPMENT TO BE INSTALLED BY THE TENANT.
- ALL WORK SHALL CONFORM TO STANDARDS OF THE INDUSTRY FOR FIRST QUALITY WORKMANSHIP AND MATERIALS AND SHALL CONFORM TO MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
- MATERIALS ARE SPECIFIED BY NAME, MODEL NUMBER AND DESCRIPTION WERE PRACTICABLE IN ORDER TO AVOID INACCURACIES. THE CONTRACTOR SHALL REVIEW ALL SPECIFICATIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THESE DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK.
- FLOOR MATERIAL CHANGES SHALL OCCUR AT THE CENTERLINE OF DOORS EXCEPT WHERE NOTES. SEE THRESHOLD DETAILS FOR SPECIAL CONDITIONS (IF ANY).
- BLOCKING AND GROUNDS AT AREAS WHICH HAVE MILLWORK, SHELVING, AND TENANT FURNISHED FURNITURE WALL CABINETS INDICATED ON THE DRAWINGS SHALL BE INCLUDED WITH THE WORK.

SUBMITTALS:

- GENERAL: THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, PRODUCT DATA AND SAMPLES.
- THE GENERAL CONTRACTOR SHALL THOROUGHLY REVIEW AND CHECK ALL SUBMITTALS, COORDINATING SEPARATE TRADES AND VERIFYING CONFORMANCE WITH THE CONTRACT DOCUMENTS. THE DESIGNER SHALL NOT REVIEW AND WILL RETURN WITHOUT REVIEW ANY DRAWINGS OR SUBMITTALS NOT REVIEWED AND NOTED BY THE GENERAL CONTRACTOR.
- SUBMITTALS SHALL INCLUDE SHOP DRAWINGS, SCHEDULES AND MANUFACTURERS PRODUCT AND EQUIPMENT CUTS FOR ALL FIXTURES, EQUIPMENT, FINISHES, SPECIAL MATERIALS, SPECIALTIES, MILLWORK & CASEWORK, DOORS, FRAMES, AND HARDWARE.
- FINISH MATERIALS: CONTRACTOR SHALL SUBMIT SAMPLES OF ALL FINISHES AND MATERIALS, FINISHES SHALL BE ON ACTUAL MATERIALS.
- CUT SHEETS: CONTRACTOR SHALL SUBMIT MANUFACTURER'S CUTS AND SPEC SHEETS FOR ALL FIXTURES, INCLUDING LIGHTING, EQUIPMENT, SPECIAL MATERIALS, SPECIALTIES, DOORS, FRAMES AND HARDWARE.
- MINIMUM SAMPLE SIZE:
  - WOOD VENEERED PRODUCTS - 8 1/2" X 11" X 1/4"
  - SOLID LUMBER - 50 SQ INCHES
  - OTHER FINISHES AND MISC. MATERIALS - 6" X 6"
- QUANTITY OF SUBMITTALS:
  - MATERIAL SAMPLES: 3
  - SHOP DRAWINGS: 1 pdf
  - ERECTION DRAWINGS: 1 pdf
- SUBMITTAL MARKINGS: THE SAMPLES SHALL BEAR IDENTIFICATION OF THE PROJECT, DESIGNER, GENERAL CONTRACTOR, AND THE MANUFACTURER.
- QUALITY GRADE OF MILLWORK AND CASEWORK: AWI QUALITY STANDARDS AND SPECIFICATIONS SHALL GOVERN ACCORDING TO THE FOLLOWING GRADES:
  - CASEWORK: PREMIUM GRADE
  - NATURAL FINISH MILLWORK: PREMIUM GRADE
  - RUNNING TRIM: CUSTOM GRADE
  - ARCHITECTURAL FLUSH DOORS (NATURAL FINISH): PREMIUM GRADE

DESIGN BUILD / PERMITS BY OTHERS:

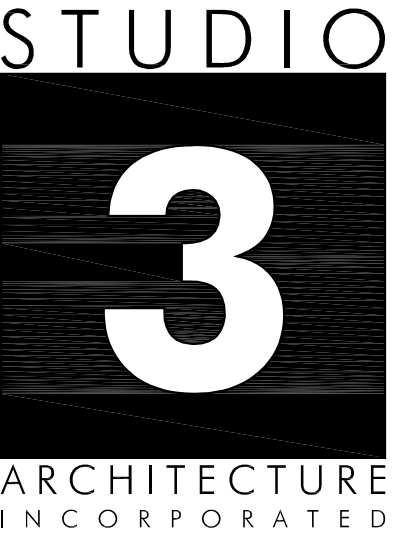
- DESIGN/BUILD/PERMITS BY OTHERS - ELECTRICAL/MECHANICAL/PLUMBING/SPRINKLER/FIRE ALARM
- DESIGN/BUILD SERVICES SHALL BE REQUIRED OF THE CONTRACTOR FOR THE ELECTRICAL, MECHANICAL, PLUMBING, FIRE ALARM AND SPRINKLER PORTIONS OF THE WORK. ALL SYSTEMS NEW AND EXISTING SHALL BE DESIGNED, MODIFIED, PROVIDED AND/OR INSTALLED AS REQUIRED BY THE NEW LAYOUT. CONTRACTOR SHALL SUBMIT DESIGN DRAWINGS AND PRODUCT SUBMITTALS FOR ALL DESIGN/BUILD SYSTEMS TO THE DESIGNER AND THE BUILDING FOR REVIEW AND APPROVAL.
- CONFORM TO APPLICABLE CODES, ORDINANCES, SPECIFIC BUILDING STANDARDS AND INDUSTRY STANDARDS FOR FIRST CLASS INSTALLATIONS OF ALL SYSTEMS. COMPLY WITH BUILDING AND LEASE SPECIFIC REQUIREMENTS FOR EMERGENCY LIGHTING, ELECTRICAL SERVICE AND SUB-METERING (CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ADEQUACY OF SERVICE AND PANEL SPACE). CONTRACTOR SHALL FIELD VERIFY AND CONFIRM WITH THE BUILDING PRIOR TO SUBMITTING THEIR BID FOR THE WORK.
- CONTRACTORS SHALL BE RESPONSIBLE FOR ALL DESIGN AND DOCUMENTATION (INCLUDING REQUIRED DESIGN DOCUMENTS PROFESSIONALLY SEALED BY AN ENGINEER WHERE AND AS REQUIRED BY THE LOCAL JURISDICTION) AS MAY BE REQUIRED FOR THE FULL AND COMPLETE INSTALLATION OF POWER, LIGHTING AND SPRINKLER SYSTEMS, AS WELL AS APPLYING AND OBTAINING ALL PERMITS, APPROVALS, INSPECTIONS AND CERTIFICATES REQUIRED FOR THE COMPLETION OF THE PROJECT FOR OCCUPANCY.
- FIRE SUPPRESSION SYSTEM: CONTRACTOR SHALL MODIFY EXISTING FIRE SUPPRESSION SYSTEM CONSISTENT WITH REQUIREMENTS OF CODE, NEW USE, NFPA, AND OWNER'S INSURANCE UNDERWRITER. SUBMIT SHOP DRAWINGS FOR APPROVAL OF BUILDING'S ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE AS-BUILT DOCUMENTS AT THE COMPLETION OF THE PROJECT AND SHALL SUBMIT REPRODUCIBLE COPIES TO THE OWNER FOR THEIR RECORDS.

DEFERRED SUBMITTALS & SEPARATE PERMITS:

- DEFERRED SUBMITTAL AND SEPARATE PERMITS REVIEW PROCESS: THE PORTIONS OF THE PROJECT LISTED BELOW WILL BE CONSTRUCTED USING A DESIGN/BUILD APPROACH.
- THE DRAWINGS INCLUDED IN THIS PACKAGE ARE PRELIMINARY TO PROVIDE A BASIS FOR BIDDING AND PLANNING.
- CONSTRUCTION DRAWINGS FOR THE PORTIONS LISTED ARE TO BE PROVIDED BY THE CONTRACTOR AS "DEFERRED SUBMITTAL" OR "SEPARATE PERMIT" DRAWINGS.
- "DEFERRED SUBMITTAL" AND "SEAPARATE PERMIT" DRAWINGS REQUIRE APPROVAL OF BOTH ARCHITECT/ENGINEER AND THE AUTHORITY HAVING JURISDICTION PRIOR TO CONSTRUCTION PER O.S.S.C. 2019 PARAGRAPH 107.3.4.2.
- THE PROCEDURE FOR DEFERRED SUBMITTAL AND SEPARATE PERMITS IS AS FOLLOWS:
  - CONTRACTOR TO REVIEW AND PROVIDE SUBMITTAL STAMP OF APPROVAL.
  - DEFERRED SUBMITTAL/SEPARATE PERMIT SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW.
  - FOLLOWING THE COMPLETION OF THE ARCHITECTS REVIEW THE CONTRACTOR SHALL SUBMIT TO THE AUTHORITY HAVING JURISDICTION.
  - WORK RELATED TO DEFERRED SUBMITTAL AND SEPARATE PERMIT ITEMS SHALL NOT BE PERFORMED UNTIL THE DEFERRED SUBMITTAL/SEPARATE PERMIT DOCUMENTS HAVE BEEN APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING DEFERRED SUBMITTALS AND SEPARATE PERMITS:
  - ELECTRICAL SERVICE DESIGN
  - FIRE SUPPRESSION
  - FIRE ALARM (WHERE APPLICABLE)
- DESIGN-BUILD COORDINATION, DESIGN BUILD SERVICES SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
  - ELECTRICAL SYSTEM AND SERVICE DESIGN
  - FIRE SUPPRESSION
  - FIRE ALARM (APPROVED FIRST BY GENERAL CONTRACTOR)
- FINAL DESIGN, ENGINEERING AND SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PROCEEDING, SHOP DRAWINGS SHALL INCLUDE ALL MATERIALS, CONFIGURATIONS, ATTACHMENTS, AND FINISHES.

ELECTRICAL GENERAL NOTES:

- ELECTRICAL WORK FOR THIS PROJECT IS SHOWN FOR DESIGN-BUILD GUIDANCE.
- LIGHT FIXTURES AND ELECTRIC HEATING DEVICES ARE LOCATED ON DRAWINGS FOR GENERAL LOCATION ONLY. SIZING OF LUMEN OUTPUT AND POWER CONSUMPTION IS THE RESPONSIBILITY OF THE DESIGN BUILD CONTRACTOR. CONFIRM FIXTURE SELECTION WITH OWNER PRIOR TO INSTALLATION.
- CONTRACTOR AND SUBCONTRACTORS ARE REQUIRED TO REVIEW THE DRAWINGS FOR ALL DIVISIONS OF WORK. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THIS WORK AND THE WORK OF ALL SUBCONTRACTORS WITH ALL DIVISIONS OF WORK INCLUDING ELECTRICAL DEMOLITION. IT IS THIS CONTRACTORS RESPONSIBILITY TO PROVIDE ALL THE SUBCONTRACTORS WITH A COMPLETE SET OF BID DOCUMENTS.
- CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL INSPECTIONS AND TESTS REQUIRED BY ANY GOVERNMENTAL AGENCY TO IMPLEMENT THE PLANS AND ACCEPT ANY REQUIRED SPECIAL INSPECTIONS OR REPORTS, WHICH SHALL BE PAID FOR BY THE OWNER.
- ELECTRICAL INFORMATION PROVIDED ON ARCHITECTURAL FLOOR PLANS IS FOR REFERENCE ONLY, ELECTRICAL DESIGN BUILD SUB-CONTRACTOR TO CONFIRM AND COORDINATE ALL WORK.
- PLACEMENT OF LIGHT FIXTURES IN CEILING PLANES TAKES PRECEDENCE OVER ALL OTHER SERVICES INCLUDING FIRE PROTECTION OR SUPPRESSION DEVICES.
- PLACEMENT OF RECEPTACLES, CONVENIENCE OUTLETS, SWITCHES, SMOKE DETECTORS, ETC: MUST MEET ELECTRICAL CODE REQUIREMENTS, ACCESSIBILITY REQUIREMENTS AND AND MUST BE RATIONALLY LAID OUT IN THE SPACE AVAILABLE.
- CIRCUITING INDICATED ON PLAN IS PARTIALLY DIAGRAMMATIC FOR CLARITY. CIRCUITING SHALL BE "THRU-WIRING" WHERE AND WHENEVER POSSIBLE.
- FIELD VERIFY EXACT LOCATION AND ELECTRICAL REQUIREMENTS OF ALL HVAC EQUIPMENT WITH MECHANICAL CONTRACTOR PRIOR TO ORDERING RELATED ELECTRICAL EQUIPMENT.
- COORDINATE WITH TENANT'S EQUIPMENT POWER REQUIREMENTS.
- ELECTRICAL CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS AS REQUIRED FOR A FULLY COMPLETE AND OPERABLE SYSTEM.
- ALL STUB-UP DIMENSIONS FROM FINISHED FLOOR TO CENTER OF BOX.
- EQUIPMENT LISTED ON EQUIPMENT SCHEDULE WILL BE UNCRATED AND SET IN PLACE ONLY. ROUGH IN AND FINAL HOOKUP WILL PERFORMED BY THE ELECTRICAL CONTRACTOR.
- ALL ELECTRICAL OUTLETS AND CONNECTIONS TO BE GROUNDED TYPE.
- ELECTRICAL CONTRACTOR TO FURNISH DISCONNECTS WHERE CODE REQUIRES.
- EQUIPMENT LISTED ON THE EQUIPMENT SCHEDULE DOES NOT INCLUDE ELECTRICAL FITTINGS SUCH AS RELAYS OR DISCONNECTS TO THE ELECTRICAL SERVICE.
- PLUGS SHOULD ENTER RECEPTACLE FROM THE DIMENSION SIDE OF SYMBOLS UNLESS NOTED OTHERWISE.



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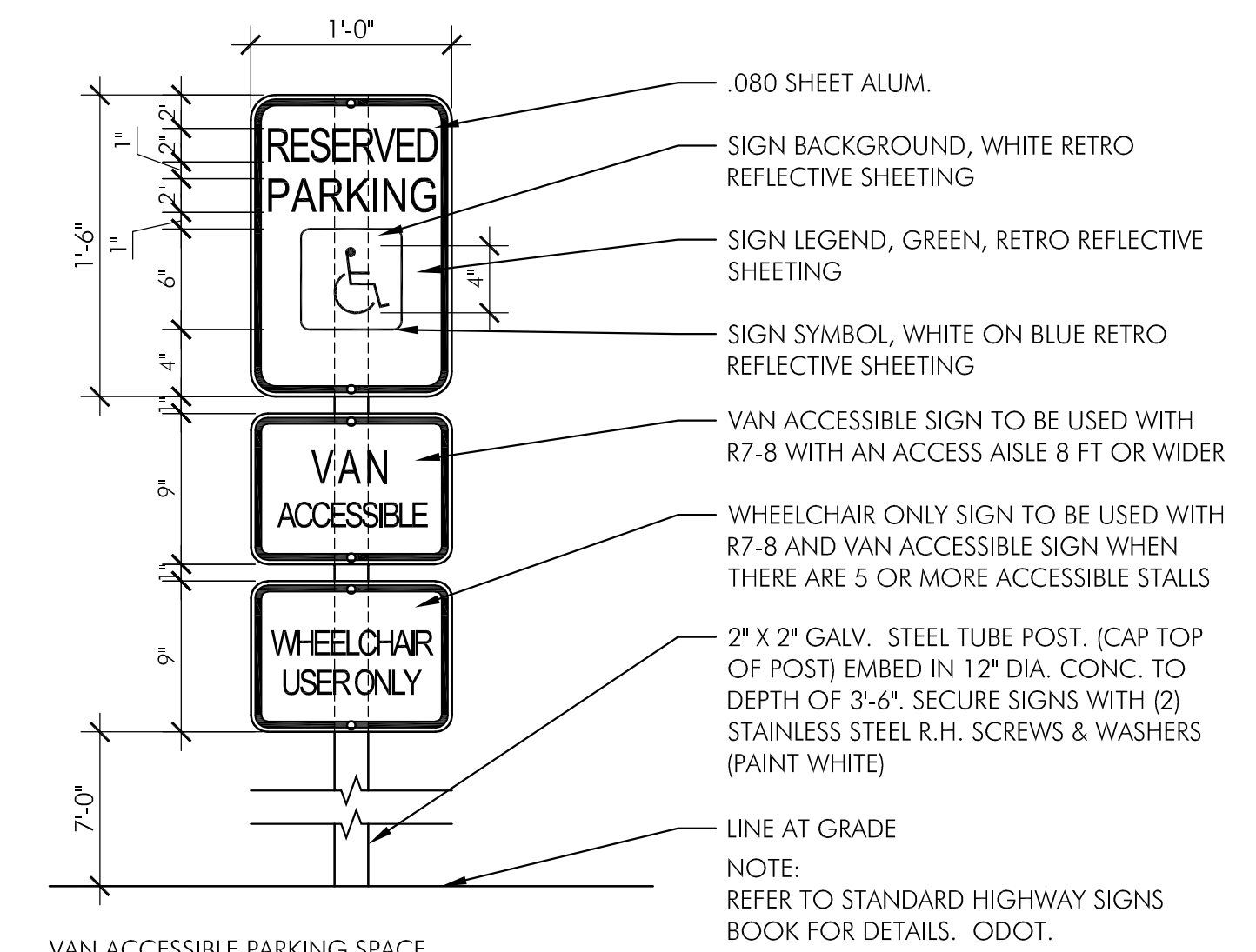
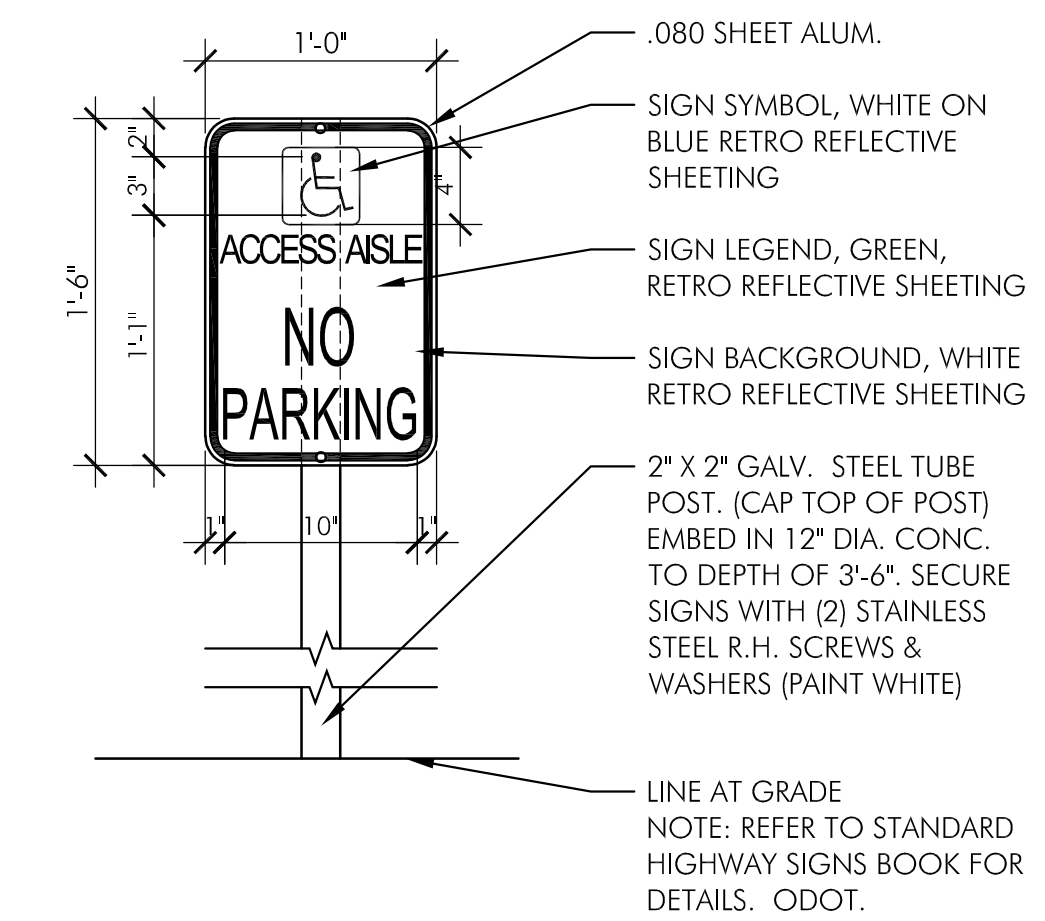
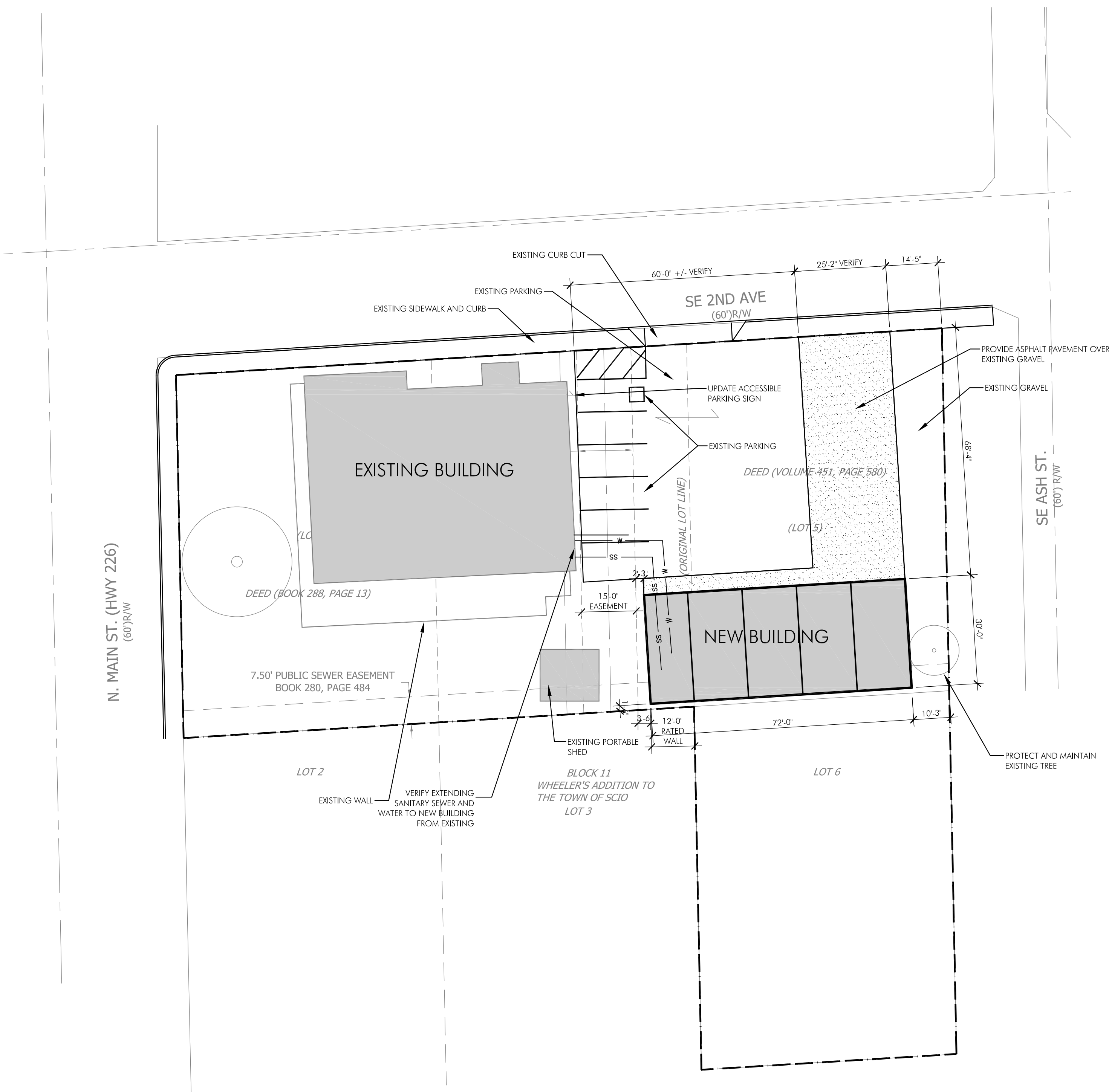
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DATE: 1 FEB 2022  
REVISIONS

NEW SHOP BUILDING : SMTA COMMUNICATION AND TECHNOLOGY CO-OP 38996 SE 2ND SCIO, OREGON

SHEET

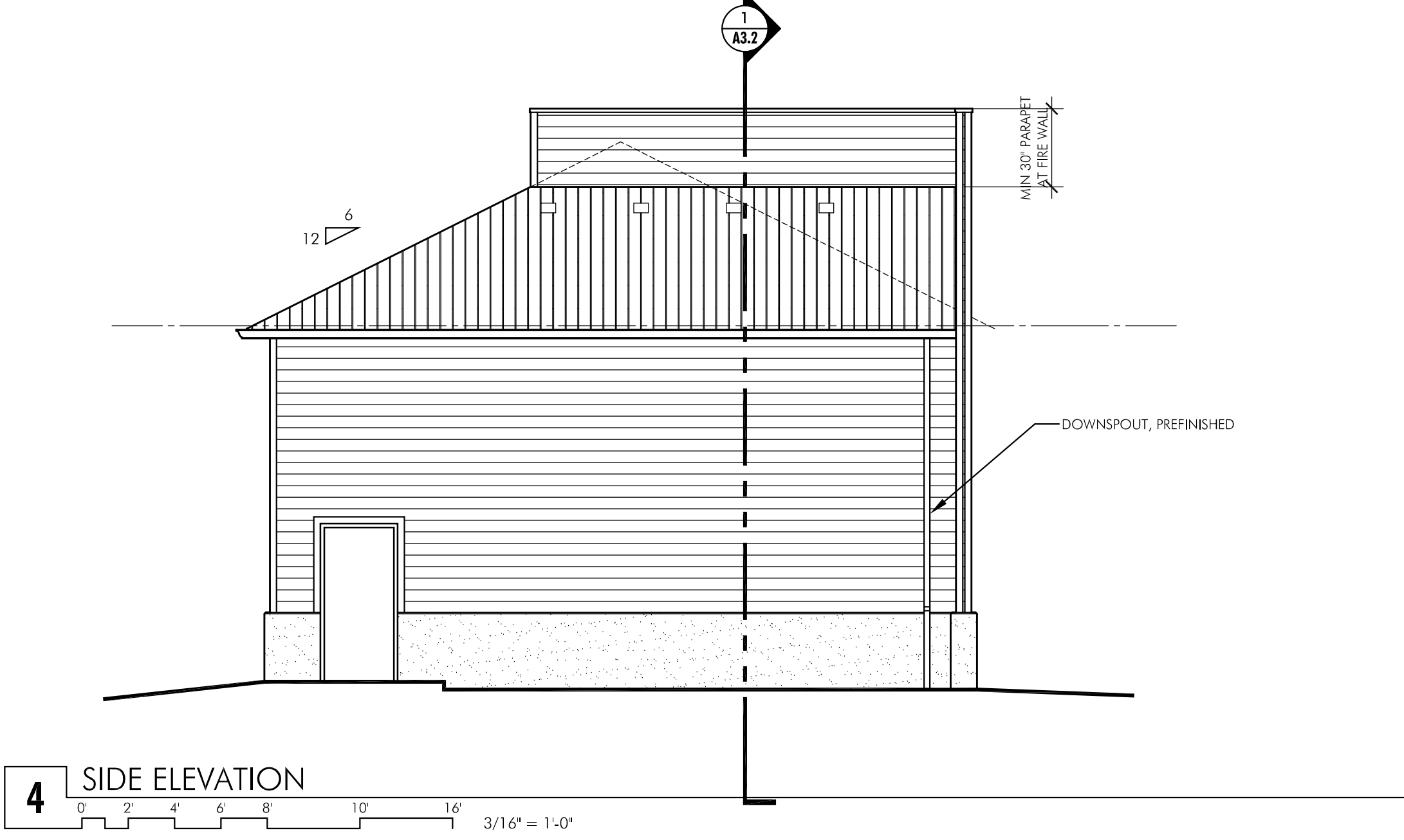
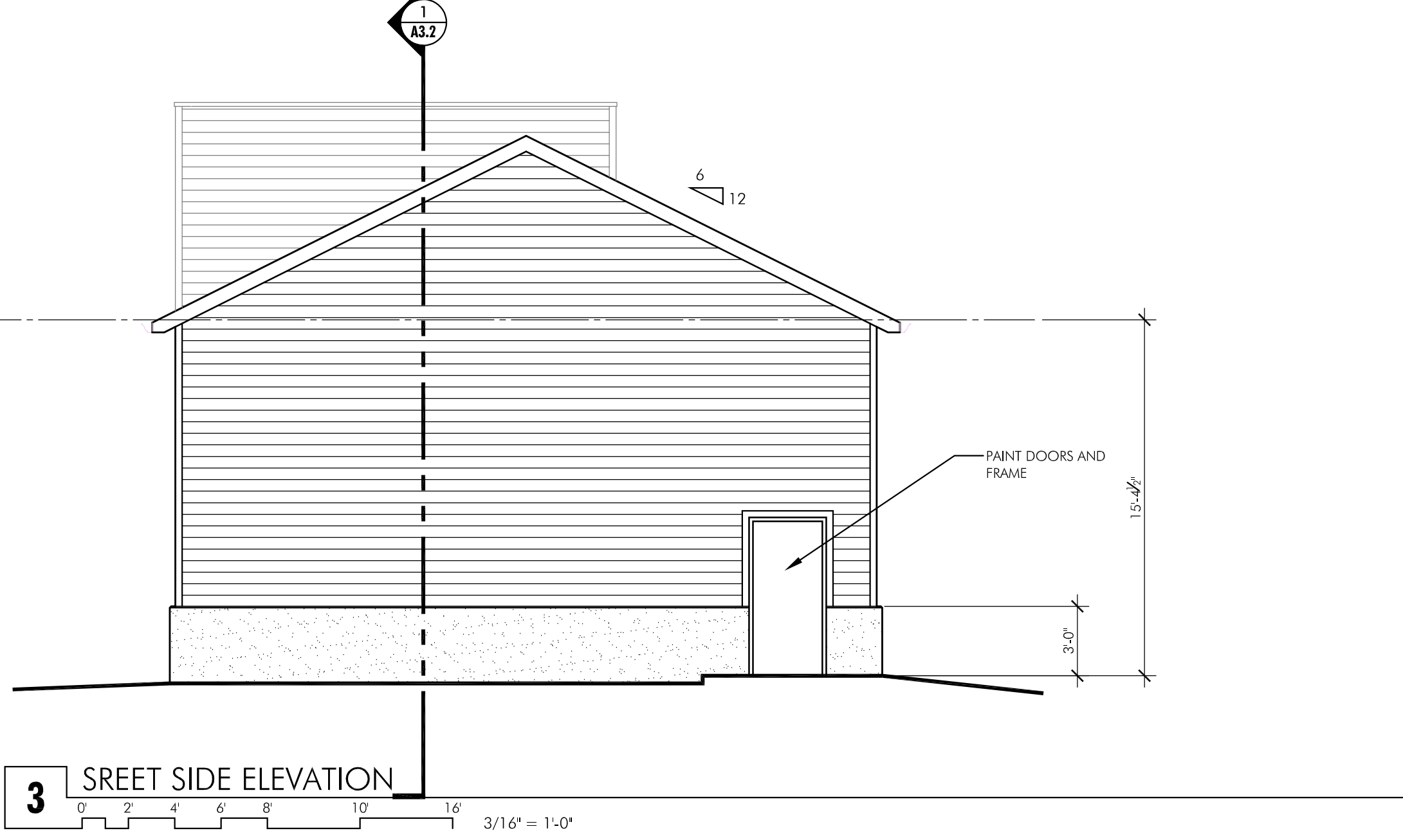
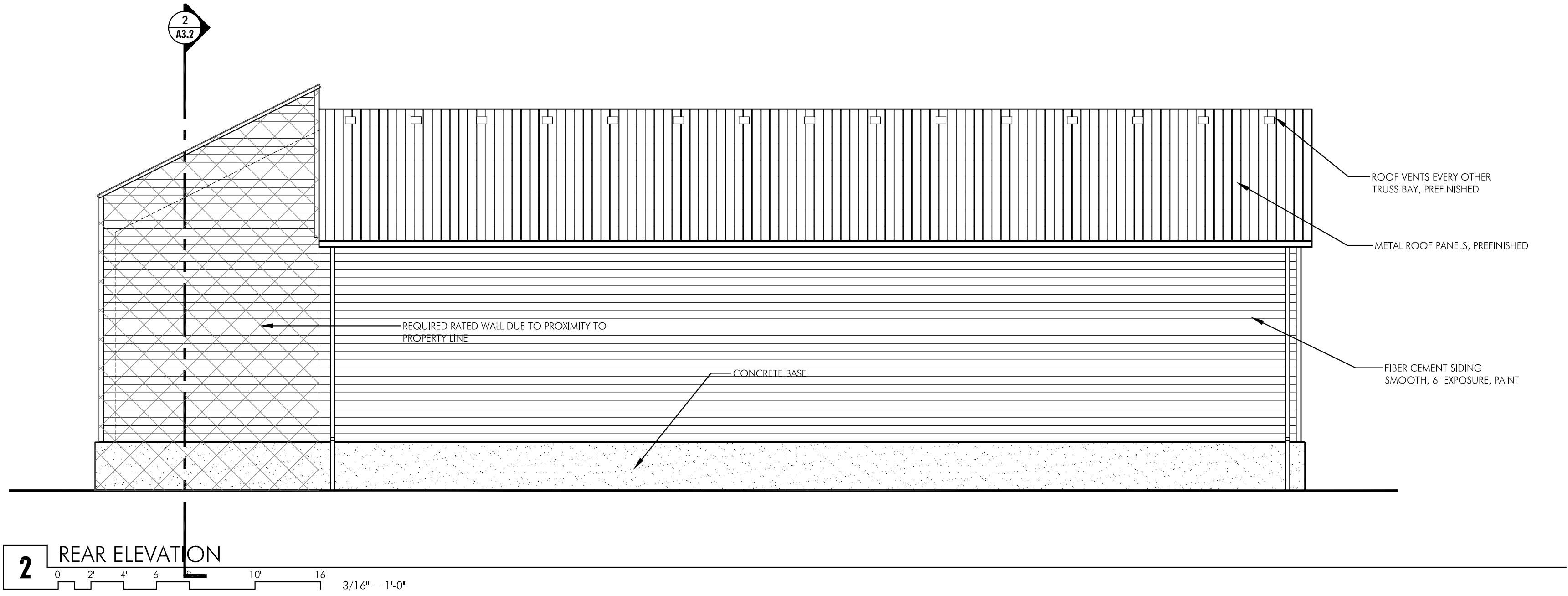
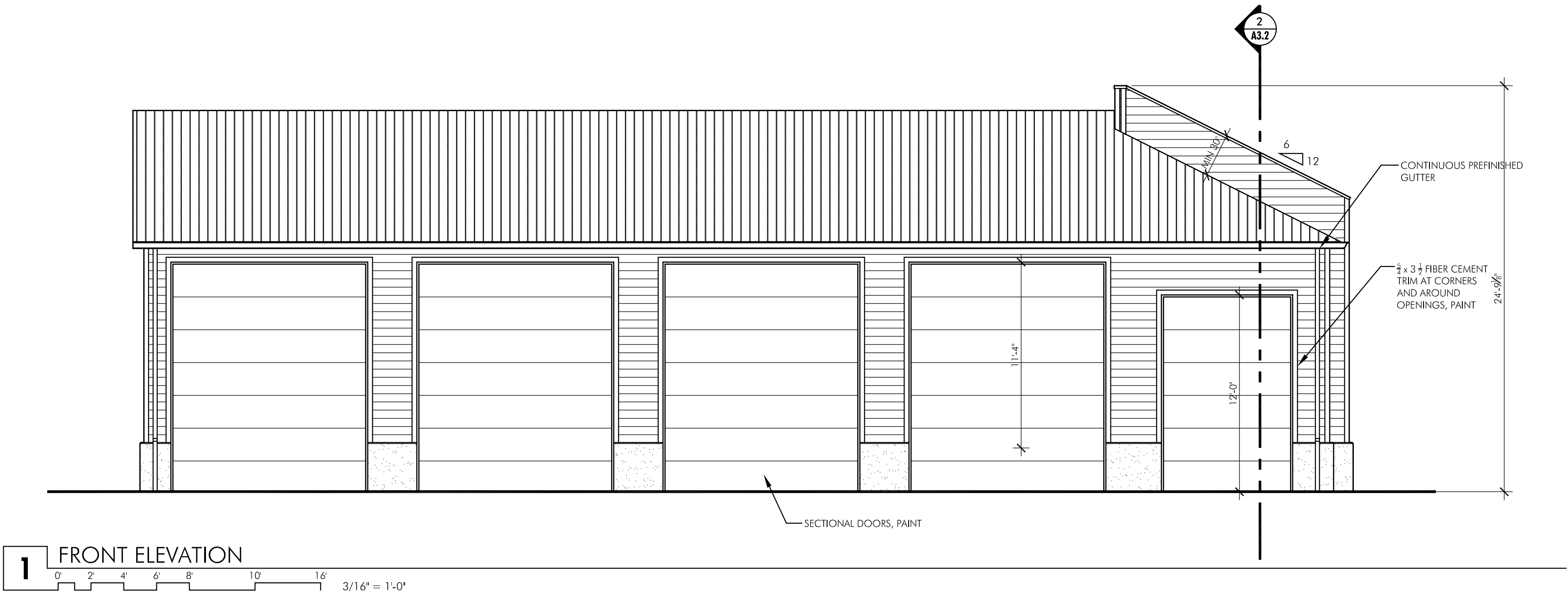
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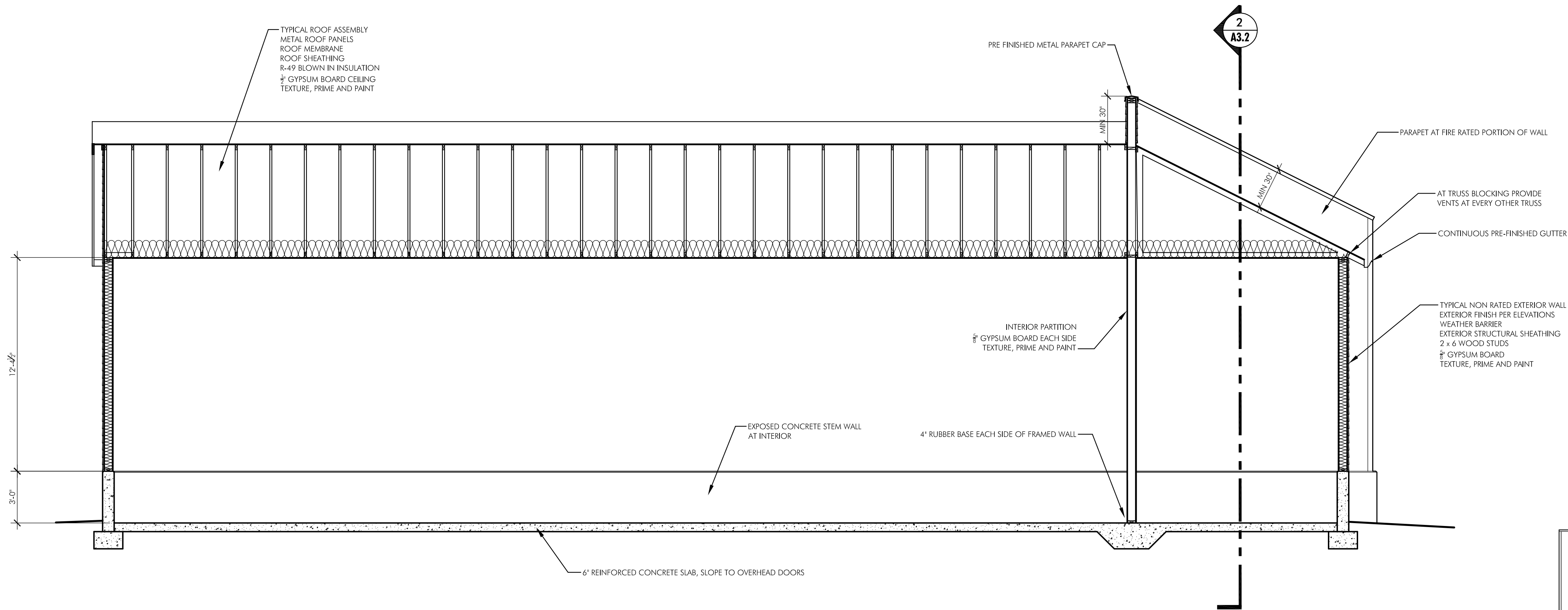






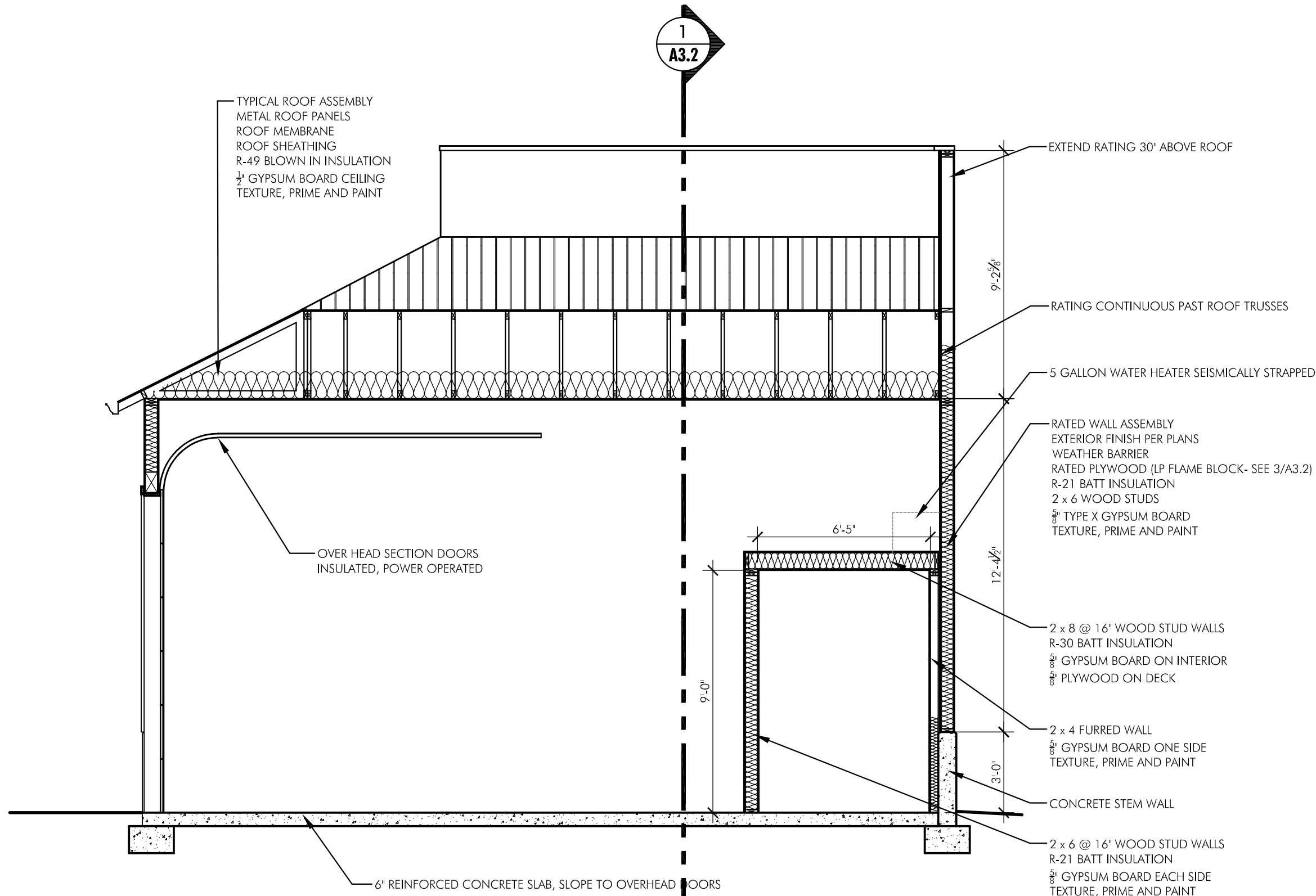






1 BUILDING SECTION

0' 1' 2' 4' 8' 12' 1/4" = 1'-0"

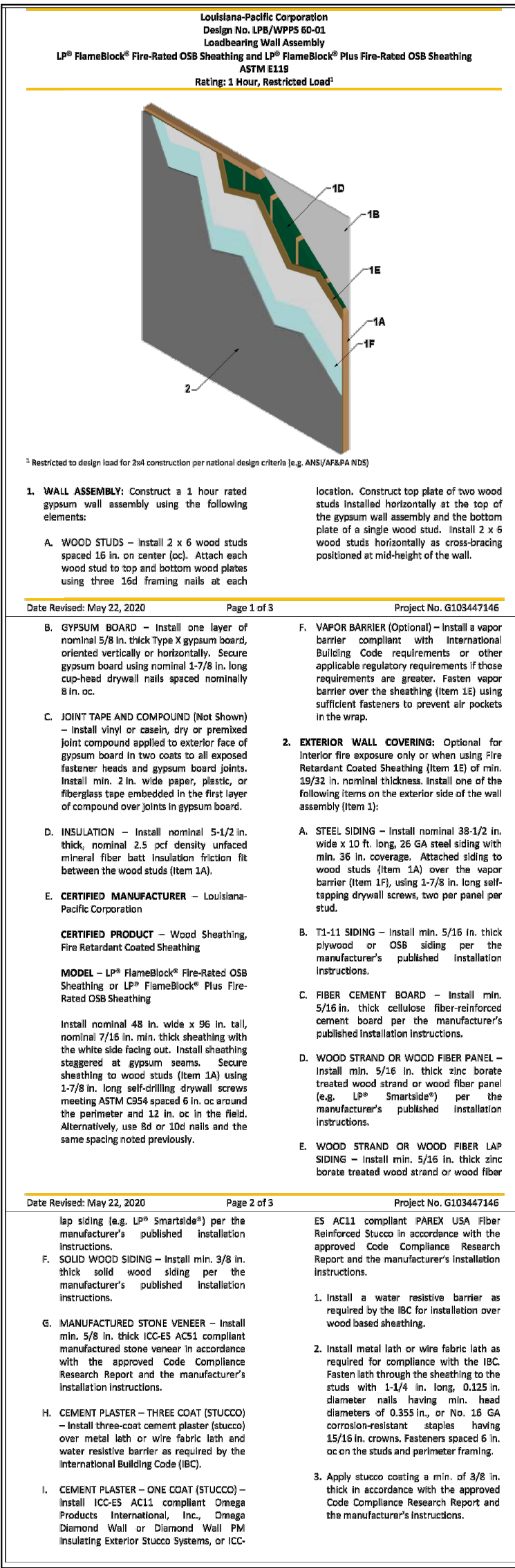


2 BUILDING SECTION

0' 1' 2' 4' 8' 12' 1/4" = 1'-0"

3 RATED WALL ASSEMBLY

NO SCALE



<sup>1</sup> Referenced to design load for 2nd construction per national design criteria (e.g. ASCE/AFMA 802)

1. WALL ASSEMBLY: Construct a 1 hour rated gypsum wall assembly using the following elements:

A. WOOD STUDS - Install 2 x 6 wood studs spaced 16 in. on center (oc). Attach each wood stud to top and bottom wood plates using three 16d framing nails at each

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B. GYPSUM BOARD - Install one layer of nominal 5/8 in. thick Type X gypsum board, oriented vertically or horizontally. Secure gypsum board using nominal 1-7/8 in. long cup-head drywall nails spaced nominally 8 in. oc.

C. JOINT TAPE AND COMPOUND (Not Shown) - Install joint or casing, dry or premixed joint compound applied to exterior face of gypsum board in two coats to all exposed fastener heads and gypsum board joints. Install min. 2 in. wide paper, plastic, or fiberglass tape embedded in the first layer of compound over joints in gypsum board.

D. INSULATION - Install nominal 5-1/2 in. thick, nominal 2.5 pcf density unfaced mineral fiber batt insulation (Item 1A) between the wood studs (Item 2A).

E. CERTIFIED MANUFACTURER - Louisiana-Pacific Corporation

CERTIFIED PRODUCT - Wood Sheathing, Fire Retardant Coated Sheathing

MODEL - LP® FlameBlock® Fire-Rated OSB Sheathing or LP® FlameBlock® Plus Fire-Rated OSB Sheathing

Install nominal 48 in. wide x 96 in. tall, nominal 7/16 in. thick sheathing with the white side facing out. Install sheathing staggered at gypsum seams. Secure sheathing to wood studs (Item 2A) using 1-7/8 in. long self-drilling drywall screws meeting ASTM D2559 spaced 6 in. oc around the perimeter and 12 in. oc in the field. Alternatively, use 16 or 18d nails and the same spacing noted previously.

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by using (e.g. LP® SmartSide®) per the manufacturer's published installation instructions.

F. SOLID WOOD SIDING - Install min. 3/8 in. thick solid wood siding per the manufacturer's published installation instructions.

G. MANUFACTURED STONE VENEER - Install min. 5/8 in. thick ICC-ES AC208 compliant manufactured stone veneer in accordance with the approved Code Compliance Research Report and the manufacturer's installation instructions.

H. CEMENT PLASTER - THREE COAT (STUCCO) - Install three-coat cement plaster (stucco) over metal lath or wire fabric lath and water resistive barrier as required by the International Building Code (IBC).

I. CEMENT PLASTER - ONE COAT (STUCCO) - Install ICC-ES AC208 compliant Omega Products International, Inc. Omega Diamond Wall or Diamond Wall PM Insulating Exterior Stucco Systems, or ICC

location. Construct top plate of two wood studs installed horizontally at the top of the gypsum wall assembly and the bottom plate of a single wood stud. Install 2 x 6 wood stud horizontally at cross-bracing positioned at mid-height of the wall.

F. VAPOR BARRIER (Optional) - Install a vapor barrier compliant with International Building Code requirements or other applicable regulatory requirements if those requirements are greater. Fasten vapor barrier over the sheathing (Item 1A) using sufficient fasteners to prevent air pockets in the wrap.

2. EXTERIOR WALL COVERING: Optional for interior fire exposure only or when using Fire Retardant Coated Sheathing (Item 1E) of min. 5/8 in. nominal thickness. Install one of the following items on the exterior side of the wall assembly (Item 1):

A. STEEL SIDING - Install nominal 36-3/2 in. wide x 10 ft. long, 26 GA steel siding with min. 36 in. coverage. Attached siding to wood studs (Item 2A) over the vapor barrier (Item 1F) using 1-7/8 in. long self-drilling drywall screws, two per panel per stud.

B. T1-11 SIDING - Install min. 5/16 in. thick plywood or OSB siding per the manufacturer's published installation instructions.

C. FIBER CEMENT BOARD - Install min. 5/16 in. thick cellulose fiber-reinforced cement board per the manufacturer's published installation instructions.

D. WOOD STRAND OR WOOD FIBER PANEL - Install min. 5/16 in. thick strand or wood fiber panel (e.g. LP® SmartSide®) per the manufacturer's published installation instructions.

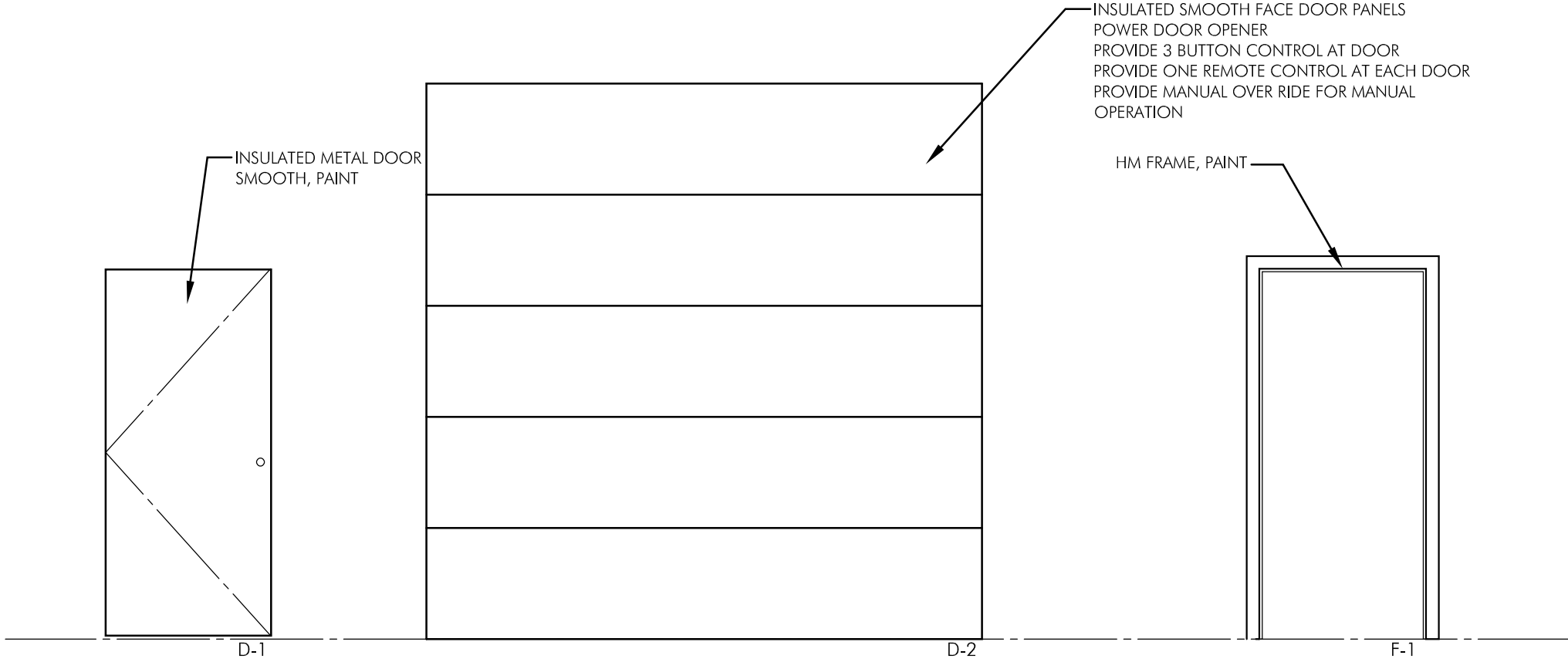
E. WOOD STRAND OR WOOD FIBER LAP SIDING - Install min. 5/16 in. thick strand or wood fiber lap siding per the manufacturer's published installation instructions.

ES AC208 compliant FRAC (FRP Reinforced Stucco) in accordance with the approved Code Compliance Research Report and the manufacturer's installation instructions.

1. Install a water resistive barrier as required by the IRC for installation over wood based sheathing.

2. Install metal lath or wire fabric lath as required by the IRC for installation over wood based sheathing.

3. Apply stucco coating a min. of 3/8 in. thick in accordance with the approved Code Compliance Research Report and the manufacturer's instructions.



1

DOOR AND FRAME ELEVATIONS

0'1'2'3'4'5'

3/8" = 1'-0"

DOOR HARDWARE SCHEDULE:											
HW-1				HW-2				HW-3			
1	LOCKSET, LEVER HANDLE			1	WEATHER STRIPPING			1	LEVER HANDLE OCCUPANCY SLIDE LOCK COMBO		
1	DEAD BOLT			1	SLIDE LOCK			1 1/2	PAIR HINGES		
1 1/2	PAIR HINGES							1	DOOR STOP		
1	DOOR STOP							1	FRAME SILENCER		
1	WEATHER STRIPPING										
1	KICK PLATE										

DOOR AND FRAME SCHEDULE											ALL DOORS TO BE 1 1/2" THICK UNLESS OTHERWISE NOTED.		
TYPE:	DOOR				FRAME			DETAILS					
	NOMINAL SIZE	TYPE	MAT'L	GLASS	TYPE	MAT'L	GLASS	H	J	S	HDWR. GROUP	LABEL	REMARKS
00/101A/101C	3'-0" x 6'-8"	D-1	HM	-	F-1	HM	-	--	--	--	HW-1	NONE	
100B-D/101B	VARIES	D-2	WD	--	F-1	WD	-	5/AB	6/AB	--	HW-2	--	
102	3'-0" x 6'-8"	D-1	HM	--	F-1	HM	-	--	--	--	HW-3	--	RESTROOM

ROOM FINISH SCHEDULE:										
NO.	ROOM	FLOOR		WALLS				CEILING		REMARKS
		MATERIAL	BASE	NORTH WALL MATERIAL	EAST WALL MATERIAL	SOUTH WALL MATERIAL	WEST WALL MATERIAL	MATERIAL	HEIGHT	
100	STORAGE	CONCRETE SEALED	6" RUBBER**	PAINT	PAINT	PAINT	PAINT	PAINT		PAINT DOORS AND FRAMES ** AT GYP BOARD WALL ONLY
101	STORAGE	CONCRETE SEALED	6" RUBBER**	PAINT	PAINT	PAINT	PAINT	PAINT		PAINT DOORS AND FRAMES ** AT GYP BOARD WALL ONLY
102	TOILET	CONCRETE SEALED	6" RUBBER**	PAINT	PAINT	PAINT	PAINT	PAINT	8'-0"	PAINT DOORS AND FRAMES ** AT GYP BOARD WALL ONLY

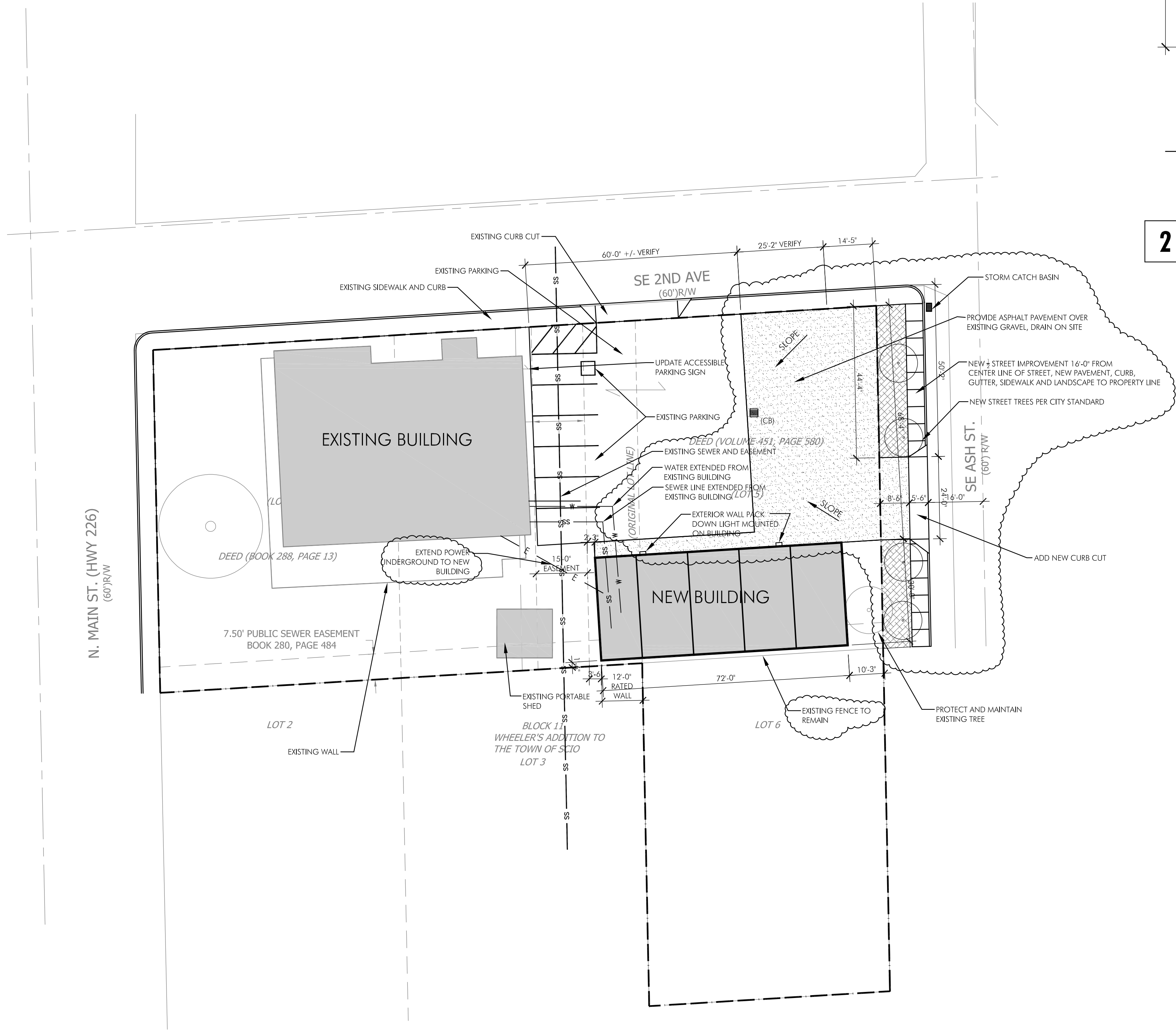


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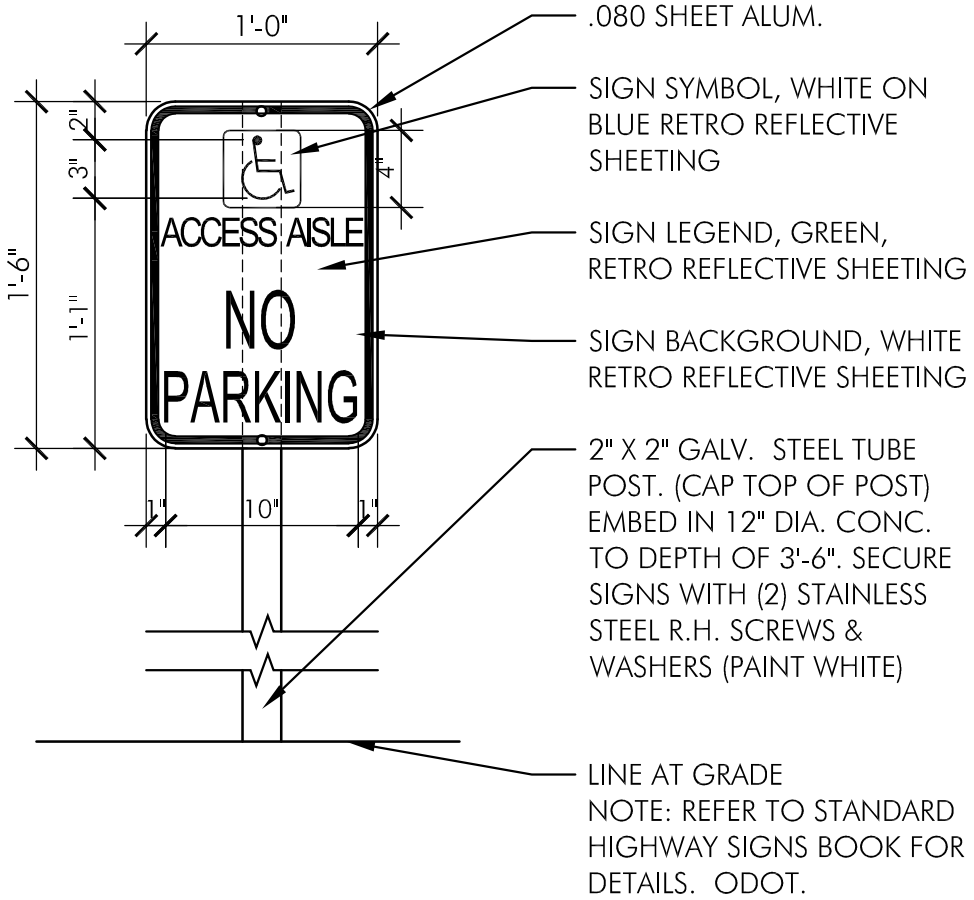
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38996 SE 2ND SCIO, OREGON





2 ACCESSIBLE AISLE SIGN



3 ACCESSIBLE PARKING SIGN DETAIL R7-8

